



AGENDA

Village of Chenequa Plan Commission
Monday, December 9, 2024 at 6:00 p.m.
31275 W. County Road K, Chenequa, WI 53029

This is official notice that a meeting of the Plan Commission for the Village of Chenequa will be held at 6:00 p.m. on Monday, December 9, 2024, in the Village Board Room and via Zoom Communications. The following matters will be discussed, with possible actions:

Call to Order

Pledge of Allegiance

1. Public comment period: *Public comments on any subject without any action, except possible referral to a governmental body or staff member.*
2. Approval of minutes from the Plan Commission meeting held on November 11, 2024.
3. Review and consider action ~~on~~ proposed new primary residence and landscape plan at 4948 White Pines Court, Robert and Kimberly Eck. (Tax Key No. 415-996-010).
4. Review and consider action on remodel of an existing structure to create a new residence at 6136 N. Brumder Lane, Rebecca Brumder. (Tax Key No. 401-994).
5. Review and consider action on proposed astronomical observatory structure at 31706 W. Pine Meadows Lane, Bruce and Kathy Brown. (Tax Key No. 734-990-001).
6. Review and consider action on proposed accessory structure at 31898 W. Treasure Island Drive, Paul and Linda Oswald. (Tax Key No. 416-994-003).
7. Review and consider action on proposed landscape plan at 5721 N. State Road 83, Michael Gehl. (Tax Key No. 399-993).
8. Review and consider action on revised grading and landscape plan at 4779 Pine Meadows Lane, Kent and Renee Haefs. (Tax Key No. 734-996).
9. Review and consider action on Ordinance 2024-12-09-01, An Ordinance Creating Section 6.5 (6) Creating Requirements for Accessory Buildings and Structures and Amending and Restating Section 6.3 to Create and Amend Certain Definitions.
10. Adjournment.

Respectfully submitted by:

Deanna Braunschweig, Village Clerk – Treasurer

To participate via Zoom:

<https://us02web.zoom.us/j/85718478065?pwd=hBL1L19ioGYPZ5mo3bbXIXLaj9V0ae.1>

Meeting ID is 857 1847 8065 and the Passcode is 980037

Or Dial: 305 224 1968 US

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made to the Village Administrator with as much advance notice as possible. It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information. No action will be taken by any other governmental body except by the governing body noticed above.

NOTICE OF POSTING TO VILLAGE HALL BULLETIN & WEBSITE

Village Clerk posted this agenda on Wednesday, December 4, 2024 by 4:30 PM

VILLAGE OF CHENEQUA

VILLAGE OF CHENEQUA - PLAN COMMISSION MINUTES
OF MONDAY, November 11, 2024

Unofficial until approved by the Plan Commission.
Approved as written () or with corrections () on _____.

The regular monthly meeting of the Plan Commission for the Village of Chenequa was held on Monday, November 11, 2024 at 6:10 p.m. utilizing Zoom Communications and in person. The meeting started late due to power outage.

Ms. Villavicencio / Chairperson – present
Ms. Surlles / Member – present online
Mr. Pranke / Member – present
Mr. Enters / Member – absent (due to power outage. Arrived 6:15 pm)
Ms. Benz / Member – present
Mr. Carroll / Member – present online
Mr. Kriva / Member – present on-line
Mr. Gartner / Village Attorney Representative - present
Mr. Lincoln / Zoning Administrator-Forester – present
Mr. Neumer / Administrator-Police Chief – present
Mr. Carney / Police Captain – present
Ms. Braunschweig / Village Clerk – present

Call to Order.

Pledge of Allegiance

Public in Attendance

Jim Meyer, George Rolfs, Julie Rolfs, Tim Fredman, John Siepmann, Debbie McNear, Tom Karlson, Jason Ruebl, Judy Hansen, Peter Anderson, Robert Merkel, Wendy Davis, Carol Merkel JoJo Gehl Neumann, EJ Kubick, Carol Manegold, Heidi von Hagke

Public Comment

President Villavicencio read a prepared statement allowing for public comments of two minutes or less.

No comments.

Approval of minutes from the Plan Commission meeting held on October 14, 2024.

Motion (Benz/Pranke) to approve the minutes from the Plan Commission meeting of October 14, 2024, as presented. *Motion carried.*

Review and Consider action on proposed new primary residence at 5558 Paulines Woods RD., Thomas and Elizabeth Karlson. (Tax Key No. 414-998).

Tom Karlson and Jason Rueble were present in the meeting. This will be Karlson's primary residence. The applicant proposes to raze an existing non-conforming primary residence on the property and construct a new, legal-conforming single-family dwelling.

The total square footage of the proposed dwelling is 8,837.73 square feet. This includes unfinished spaces. Building material sample photos, color rendering, and exterior lighting options were in the packet. This light option is compliant with our outdoor lighting code section 5.24. A site grading plan has also been submitted by SEH and is provided in the packet. The proposed project meets all other requirements of the Village of Chenequa Zoning. If it is determined the building site grading plan needs further review for storm water management, a storm water and grading plan shall be reviewed by an engineer of the Village's choice and paid for by the applicant.

Motion (Carroll/Surles) to recommend proposed new primary residence at 5558 Paulines Woods RD., Thomas and Elizabeth Karlson. (Tax Key No. 414-998). Motion carried.

Review and Consider action on proposed modification to previously approved driveway plan at 4779 Pine Meadows Lane, Kent and Renee Haefs. (Tax Key No. 734-996).

In March of 2023, Kent and Renee Haefs received approval from the Village board for the construction of a primary residence at 4779 N Pine Meadows Lane. Included with the house plans were driveway and grading plans that were also approved. Since approval, the applicants have proposed to shift the driveway northward on the property. The proposed location centers the driveway more on the lot.

A copy of what was previously approved and what requires approval has been included in the packet. The proposed driveway plans do not include a culvert. Other residences on the road also do not have a culvert because of the absence of a proper ditch. There will be an updated landscaping plan submitted in short order.

This proposal is for driveway realignment. The landscape is needed ideally by December. This is a requirement. The proposal is significantly more pavements. Lincoln is working with Dr Haefs for an updated plan.

Motion (Pranke/Benz) to recommend proposed modification to previously approved driveway plan at 4779 Pine Meadows Lane, Kent and Renee Haefs. (Tax Key No. 734-996). Motion carried.

Review and consider action on extraterritorial certified survey map to combine 2 parcels of 4.8 acres and re-divide into 3 parcels, Town of Merton MRTT 0356-984 and MRTT 0356-985, Lorenz Holding Corp, N73W32438 River Road and N72W32434 River Road.

Motion (Benz/Surles) to recommend extraterritorial certified survey map to combine 2 parcels of 4.8 acres and re-divide into 3 parcels, Town of Merton MRTT 0356-984 and MRTT 0356-985, Lorenz Holding Corp, N73W32438 River Road and N72W32434 River Road.

Motion carried.

Review and consider action on extraterritorial certified survey map adjusting Town of Merton Road Right of Way, Reddelien Road, to give lands to the Town in exchange for new lot configuration for four properties that acquired the vacated lands on Reddelien Road, Hartland, WI. (Tax Keys MRTT 0356-009, MRTT 0356-010-001, MRTT 0356-011, MRTT 0356-012.

Motion (Carroll/Kriva) to recommend an extraterritorial certified survey map adjusting Town of Merton Road Right of Way, Reddelien Road, to give lands to the Town in exchange for new lot configuration for four properties that acquired the vacated lands on Reddelien Road, Hartland, WI. (Tax Keys MRTT 0356-009, MRTT 0356-010-001, MRTT 0356-011, MRTT 0356-012. Motion carried.

Adjournment

Motion (Benz/Pranke) to adjourn the Plan Commission meeting at 6:20 p.m. *Motion carried.*

Respectfully submitted by:

Approved and Ordered Posted by:

Deanna Braunschweig, Village Clerk

Jo Ann F. Villavicencio, Chairperson



STAFF REVIEW

Date: December 3rd, 2024 **Meeting Date & Time:** Monday, December 9th, 2024 at 6:00 p.m.

To: Plan Commission, Village of Chenequa

From: Planning Department

Subject: Site Plan Review

Architect/Builder: Victory Homes of Wisconsin

Owner: Bob and Kim Eck

Property Address: 4948 White Pines Court

Project Description: Proposed Single-family Dwelling and Landscape Plan

Zoning District: Residence District

	REQUIRED RES. DISTRICT		PROPOSED PROJECT	
LOT AREA:	5	acres	5.9	Acres
LOT WIDTH: AVERAGE	200	L.F. min.	325	L.F.
YARD SETBACKS: Front (West)	25	ft. min.	157.7	ft.
Rear (East)	25	ft. min.	372.3	ft.
Side (North)	15.25	ft. min.	98.4	ft.
Side (South)	15.25	ft. min.	229.0	ft.
BUILDING HEIGHT:	45	ft. max	30.5	ft.

COMMENTS:

Dwelling

1. The applicant proposes to construct a new single-family dwelling with an attached garage.
2. The proposed dwelling is a single story with a total square footage of 7,573. The total living area of the dwelling is 4,850 Square feet.
3. This is a legal conforming lot.
4. Building material sample photos have been provided in the packet. Materials need plan commission review and approval
5. The proposed project meets all other requirements of the Village of Chenequa Zoning

6. Exterior light options have been submitted and require Plan Commission and Village Board Review. The proposed fixture meets the requirements of 5.24
7. A building permit is required from the Building Inspector prior to start of construction.

Landscape

1. A landscape plan has also been submitted for the property and requires review.
2. Incorporated with the landscape plan is a driveway, paths, patios, outdoor lighting, a fence and a pool.
 - a. Driveway
 - i. Incorporated with the grading plan is a driveway plan. Due to site restrictions, the proposed driveway borders the northern property boundary for approximately 170'. Private driveways in the Village are not considered structures per 6.3(46) therefore, the 10' minimum property line setback does not apply.
 - ii. The proposed driveway meets the requirements of 5.23
 - b. Walkways
 - i. The landscape plan proposes a walkway to the front entrance and a secondary walkway to the pool area
 - ii. The proposed walkways will match the walkway presented in the materials packet.
 - iii. The location of these walkways is in the provided landscape plan
 - c. Patios
 - i. There are two proposed patios on the property. A pool patio to surround the proposed pool and a front entry patio
 - ii. The location of these patios can be found on the provided landscape plan
 - d. Pool
 - i. The applicant is proposing an inground pool that is approximately 18'X45' in the backyard.
 - ii. Pump equipment for the proposed pool will be situated on the side of the house and screened with bushes.
 - iii. Proposed layout of the pool is provided in the landscape plan
 - e. Fence
 - i. The applicant proposes a fenced in area surrounding the pool area.
 - ii. 5.21(3) requires that a fence, wall, structure or combination shall be not less than 3'5". A residential structure (as proposed) may be used as part of the enclosure.
 - iii. The proposed fence is 4' in height.
 - iv. A sample photo is provided in the packet
 - v. Fence layout is depicted on the landscape plan
 - f. Outdoor Lighting
 - i. The plan shows 16 proposed "path lights" and 8 proposed "spot lights".

- ii. The path lights are 2.5 watts and 2,790K color temperature
- iii. The spot lights are 3.0 watts and 2,790K color temperature
 - 1. The proposed “Spot lights” will be slightly elevated above the ground and downward directed to illuminate landscaping.
- 3. Approximately two acres of land is being disturbed during this project, a DNR land disturbance permit shall be obtained at least fourteen (14) days prior to beginning of construction.
- 4. The property has an existing recorded stormwater drainage easement situated in the east corner of the property. This drainage depression is protected by restrictions listed in document # 4520940 and is in place to help capture storm water from additional runoff created by impervious surfaces.

c: Dan Neumer, Administrator
Deanna Braunschweig, Clerk/Treasurer
Paul Launer, Lake Country Inspections
Robert and Kim Eck, Owner
Victory Homes, Architect/Builder
Cody Lincoln, Zoning Administrator

ROOF TRUSS HEEL HEIGHTS

4 / 12 PITCH	- 7" HEEL	- 6" OHMG
8 / 12 PITCH	- 8" HEEL	- 12" OHMG
10 / 12 PITCH	- 10" HEEL	- 12" OHMG
12 / 12 PITCH	- 12" HEEL	- 12" OHMG

GREEN PLAN CHECK LIST

- ACC / Survey Approval
- Plan / Exterior Selections Approval
- Financing Approval

This plan is not for construction, if you do not have a green plan stamped final, please contact our office for the latest revisions date to commence with construction using this plan. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM THE LATEST REVISION DATE.

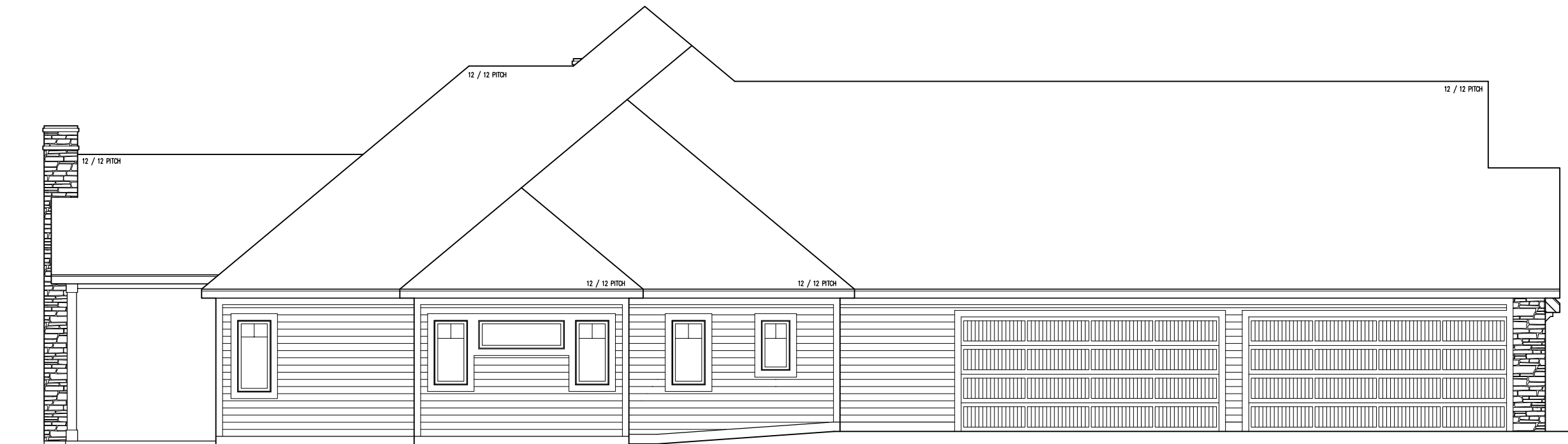
JOB # 1060

Wisconsin Focus on Energy Home

PRELIMINARY PLANS



FRONT ELEVATION
1/4"=1'-0"



LEFT ELEVATION
1/4"=1'-0"

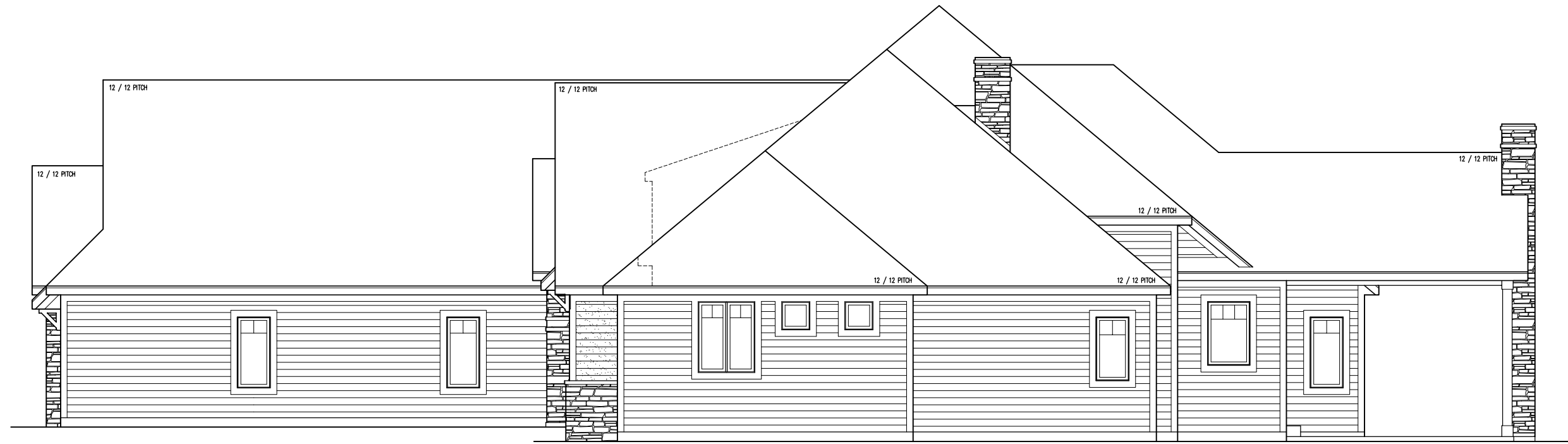
REVISIONS	
DATE	DESCRIPTION
9/10/24	BA REQUESTED REVISIONS
9/13/24	BA REQUESTED REVISIONS
10/16/24	BA REQUESTED REVISIONS
10/25/24	BA CONTRACT PLAN

ECK RES. DOVER GRAND MODEL	
DATE	DESCRIPTION
8/30/24	4,850
SCALE: 1/4"	NOTED

THESE DRAWINGS ARE THE PROPERTY OF VICTORY HOMES AND SHALL NOT BE REPRODUCED, COPIED, OR RELIED UPON IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF VICTORY HOMES. VICTORY HOMES IS NOT RESPONSIBLE FOR ANY CHANGES TO THESE DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS. VICTORY HOMES MAKES NO WARRANTIES, EXPRESS OR IMPLIED, REGARDING THE ACCURACY, COMPLETENESS, OR QUALITY OF THE INFORMATION PROVIDED IN THESE DRAWINGS. VICTORY HOMES EXPRESSLY DISCLAIMS ALL RESPONSIBILITY AND LIABILITY FOR THE QUALITY OF MATERIALS AND WORKMANSHIP USED.

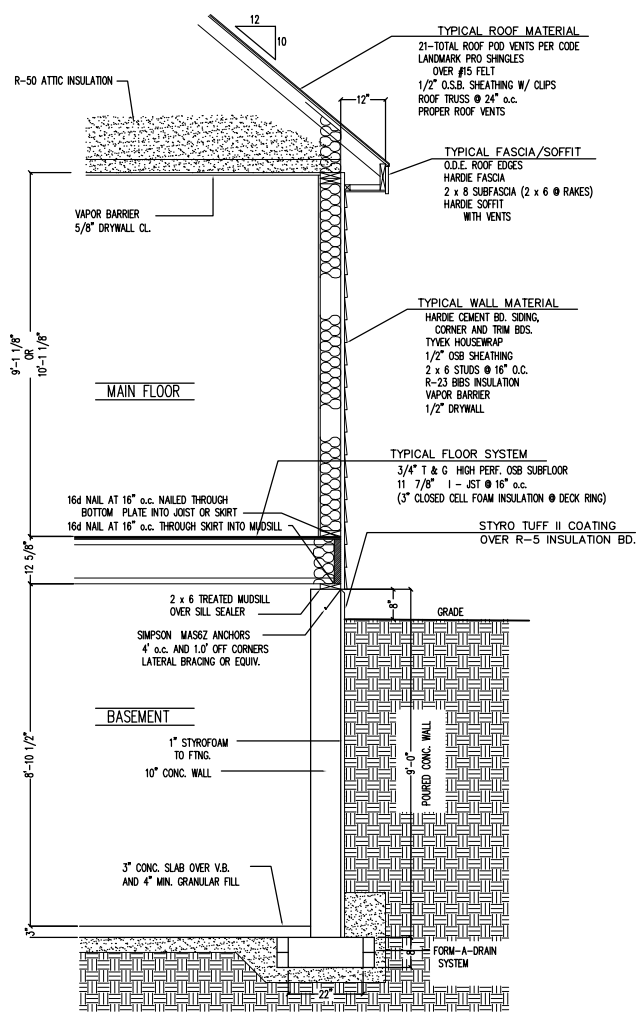
VICTORY HOMES OF WISCONSIN, INC.
 "Building For The Way You Live"
 1818 WISSE BUNSEN DRIVE
 GERMANTOWN, WISCONSIN 53022
 PH. (262) 252-7100 / FAX (262) 252-7108

Bob and Kim Eck Residence
 4948 White Pines Ct, Chenequa

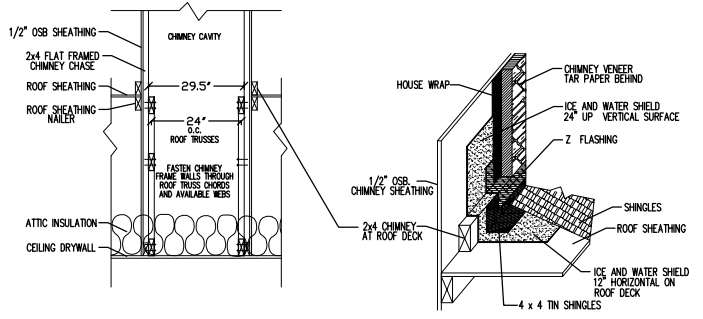


RIGHT ELEVATION
1/4"=1'-0"

NOTE: LOW-PITCHED ROOF PLANES
4/12 AND LOWER PITCHED ROOFS TO ICE AND WATER SHIELD SHALL EXTEND AT LEAST 30" UP THE ROOF SLOPE AND AT LEAST 12" UP THE ROOF SLOPE BEYOND THE INNER FACE OF AN EXTERIOR WALL.

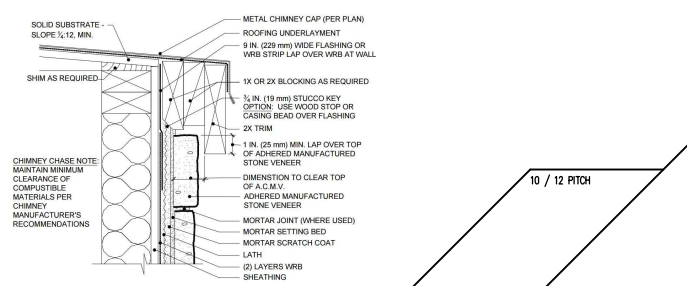


TYP. WALL SECTION
1/2"=1'-0"

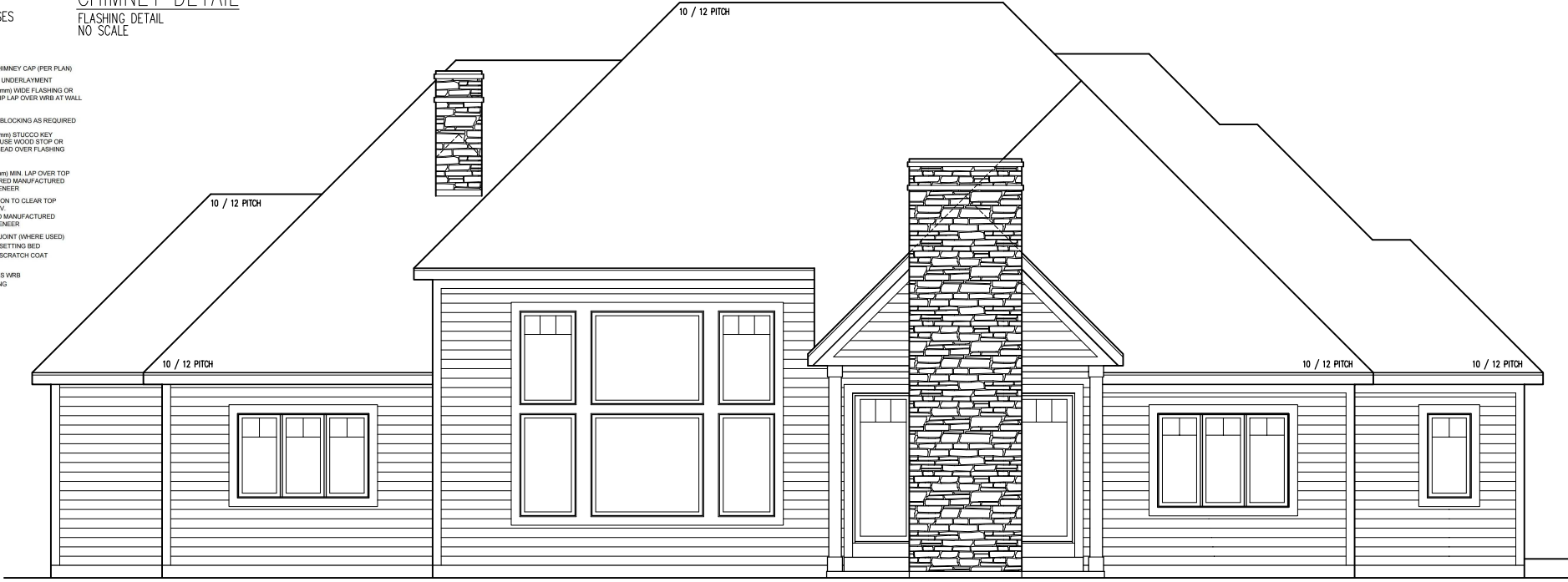


CHIMNEY DETAIL
FRAMING DETAIL AT ROOF TRUSSES
NO SCALE

CHIMNEY DETAIL
FLASHING DETAIL
NO SCALE



CHIMNEY DETAIL
FLASHING DETAIL AT CAP
NO SCALE



REAR ELEVATION
1/4"=1'-0"

REVISIONS	
DATE	DESCRIPTION

CLIENT: ECK RES. DOVER GRAND MODEL	DATE: 8/30/24	ISQ. FEET: 8/30/24	PAGE #: 2/4
TITLE: ELEVATIONS	DRAWN BY: 8 (ANDALORO)	SCALE: NOTED	
PRINT #:	22-408-8	ANDALORO	NOTED

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"Building For The Way You Live"
1115 WISSE BUNSEN DRIVE
GERMANTOWN, WISCONSIN 53022
PH: (262) 252-7100 / FAX: (262) 252-7108

Bob and Kim Eck Residence
4948 White Pines Ct, Chenequa

Eck Residence
4984 White Pines Ct, Chenequa

Roof Color:

CertainTeed Landmark Pro - Moire Black



Metal Roof Color:

Firestone – Black



Siding Color/Corner Boards/Freize Boards:

Classic French Gray SW0077

SW 0077
Classic French Gray
Interior / Exterior

Soffit & Fascia Color:

Tricorn Black SW6258

SW 6258
Tricorn Black
Interior / Exterior
Location Number: 251-C1

Eck Residence
4984 White Pines Ct, Chenequa

Garage Color:

CHI – Bronze



Windows:

Alliance – Black



Gutter Color:

ABC – Black



Thin Cut Stone Veneer:

Halquist – Biltmore





EXISTING DRAINAGE BASIN

LANDING KEY	PLAN
1. LAMP-POST	PLAN
2. DISK-A	PLAN

EXISTING DRAINAGE BASIN

EXISTING FIELD

EXISTING DRAINAGE BASIN

EXISTING DRAINAGE CHANNEL

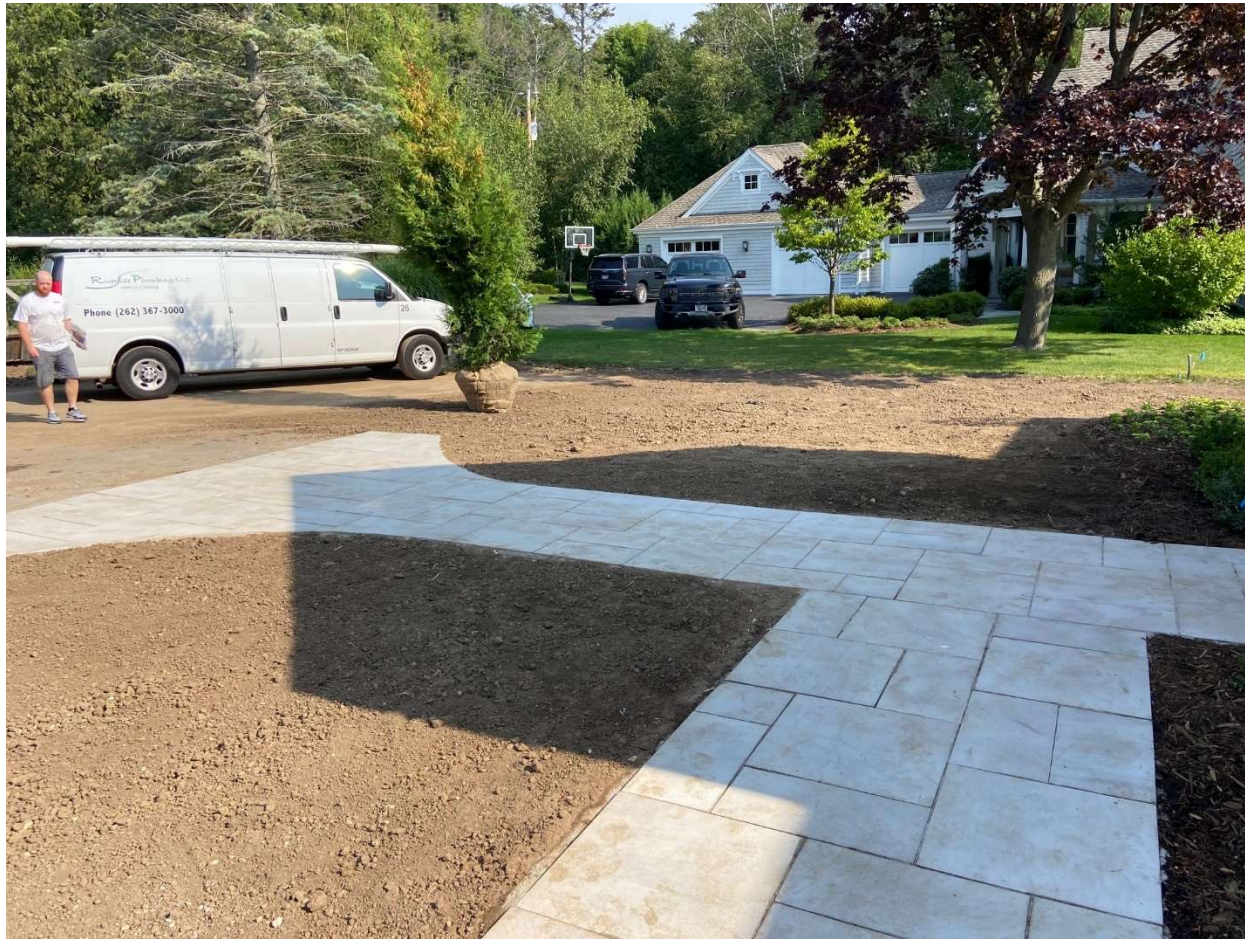
EXISTING DRAINAGE CHANNEL

EXISTING DRAINAGE BASIN

EXISTING DRAINAGE BASIN

Eck Residence Outdoor Materials/Lighting







Landscape Lighting



Structure Mounted Outdoor Lights



Product Details

 Dark Sky

 LED

- 8" high x 4 1/2" wide. Extends 5 3/4" from the wall. Backplate is 4 3/4" high x 4 1/2" wide. Distance from the top of the fixture to outlet is 4". Weighs 1.3 lbs.
- Includes one dimmable 6.5 watt GU10 base LED bulb: 500 lumen light output, comparable to a 50 watt incandescent. 3000K color temperature. 80 CRI.
- Modern cylindrical energy-efficient LED outdoor wall light from the Silo collection by Hinkley. Dark Sky design.
- Black finish over composite construction. Etched lens glass. Mounting hardware is hidden on the back plate to ensure a clean silhouette.
- Wet location rated for outdoor use. Can also be installed indoors. Vertical installation only as shown. JAB, Title 24, Dark Sky friendly.



STAFF REVIEW

Date: December 4, 2024

Meeting Date & Time: Monday, December 9th at 6:00 p.m.

To: Plan Commission, Village of Chenequa

From: Planning Department

Subject: Site Plan Review

Owner: Rebecca Brumder

Property Address: 6136 N Brumder Road

Project Description: Proposed structure remodel to create a new primary dwelling

Zoning District: Residence District

	REQUIRED RES. DISTRICT		PROPOSED PROJECT	
LOT AREA:	5	acres	5.25	acres
LOT WIDTH: AVERAGE	200	L.F. min.	400	L.F.
YARD SETBACKS: Side (North)	13.5	ft. min.	200+/-	ft.
Rear (West)	25	ft. min.	200+/-	ft.
Front (East)	25	ft. min.	200+/-	ft.
Side (South)	13.5	ft. min.	200+/-	ft.
BUILDING HEIGHT:	45	ft. max	26.5	ft.

COMMENTS:

1. The applicant proposes to convert an existing historic structure on the property to a new single primary residence.
2. The proposed residence will have a finished main floor and loft area. The basement will remain unfinished.
3. The total living area of this structure is approximately 617.5 Square feet.
4. 6.5(4)(d) Requires that a two-story dwelling have a minimum living area of 2,000 Square feet with a minimum living area of 1,500 square feet on the first floor. This ordinance does not apply to structures built on or before July 10th, 1972 with a valid building permit.
 - a. It is likely that when this building was constructed, a permit would not have been

required. The building was originally constructed in 1902.

5. Existing and proposed elevations have been provided in your packet.
6. Exterior modifications include;
 - a. Repositioning doors and windows on the structure (as shown on plans)
 - b. Installation of several new windows on the structure
 - c. Adding a small gable over the entryway (to match roof pitch)
 - d. Installation of bilco door to provide basement access
 - e. Restoration of existing trim and siding
7. The existing color of this structure is white, this color is not proposed to change.
8. There is no exterior lighting proposed on this structure
9. This is a legal-conforming lot
10. A new driveway is proposed to be installed, leading up to the structure.
 - a. The proposed driveway meets the requirements that have been specified in ordinance 5.23
11. The provided plans also present an outdoor lighting plan. The lighting plan includes cut sheets of the proposed light fixtures to be used
 - a. The plan includes;
 - i. 8 – Pathway Lights
 - ii. 1- Parking Light -**Not Compliant with 5.24**
 - iii. 1-“Bilco” door light
 - iv. 2- Entryway Lights -**Not Compliant with 5.24**

c: Dan Neumer, Administrator
Deanna Braunschweig, Clerk/Treasurer
Paul Launer, Lake Country Inspections
Rebecca Brumder, Owner
Cody Lincoln, Zoning Administrator

PLAT OF SURVEY

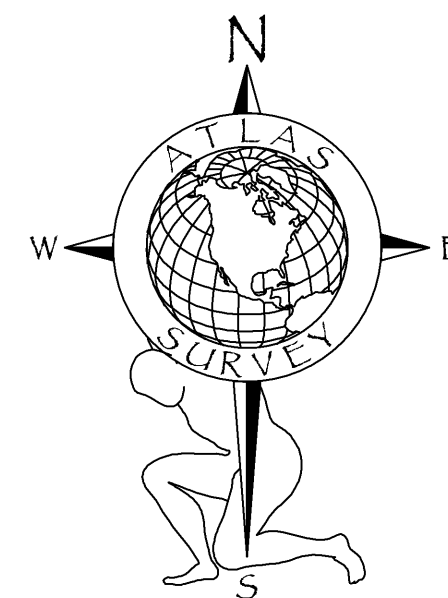
BEING A PART OF THE NE. 1/4, SE. 1/4, SW. 1/4 & NW. 1/4 OF THE NE. 1/4 OF SECTION 29, T.8N., R.18E., VILLAGE OF CHENEQUA, WAUKESHA COUNTY, WISCONSIN

LEGEND

- ⊕ - CONC. MON. W/ BRASS CAP FND.
- ⊙ - 1" IRON PIPE FOUND (UNLESS OTHERWISE STATED)
- - 3/4" REBAR FOUND
- - 3/4" REBAR SET, 18" LONG
- ▭ - ASPHALT

ATLAS SURVEY

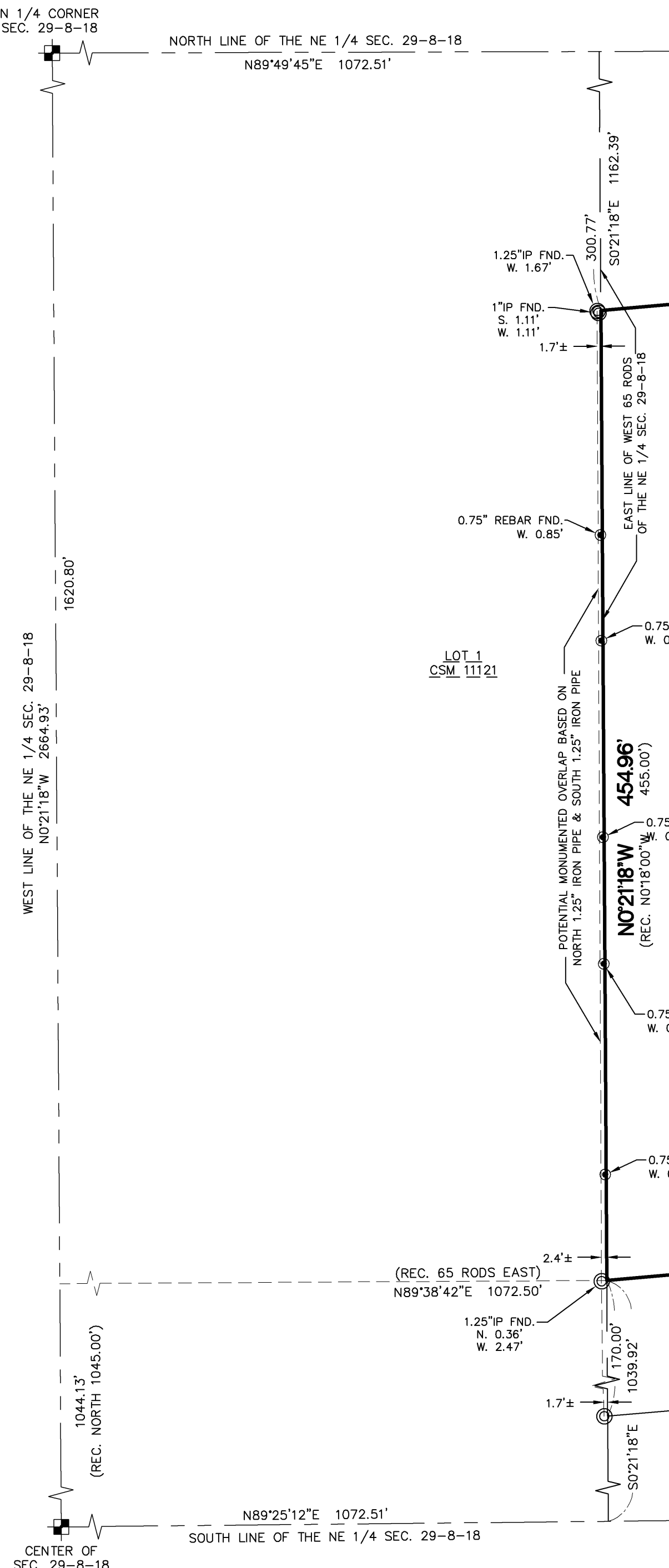
N28W23000 ROUNDY DR. #102
PEWAUKEE, WI 53072
(262) 901-5256
WWW.ATLASSURVEYWI.COM
SURVEYOR:
BRYCE KACZOR, PLS S-2803
SURVEY FOR:
BECKY BRUMDER
PROPERTY:
6136 BRUMDER ROAD
HARTLAND, WI 53029



SCALE: 1" = 50'



BEARINGS ARE REFERENCED TO THE WEST LINE OF THE NE 1/4 OF SECTION 29-8-18 AS N00°21'18"W.



LOT 1
CSM 11121

UNPLATTED LANDS

UNPLATTED LANDS

UNPLATTED LANDS

UNPLATTED LANDS

NOTES:

1. EASEMENTS, IF ANY, ARE NOT SHOWN.
2. THE SURVEYOR TAKES NO RESPONSIBILITY FOR ANY UNDERGROUND STRUCTURES OR BURIED MATERIALS SUCH AS FOUNDATIONS, WELLS, SEPTIC, HOLDING TANKS, UTILITIES, HAZARDOUS MATERIALS, OR ANY OTHER ITEMS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A VISUAL INSPECTION.
3. THE PURPOSE OF THE SURVEY IS TO IDENTIFY BOUNDARY LINES.
4. THE FIELD WORK WAS COMPLETED ON JUNE 6TH, 2024.

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND, IN MY PROFESSIONAL OPINION, THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

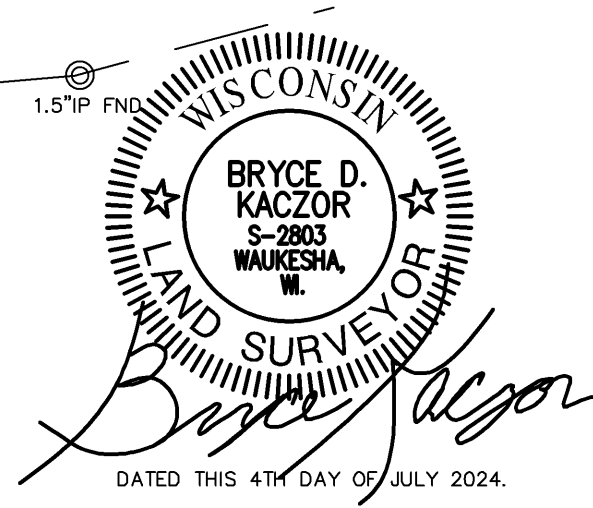
THIS SURVEY IS MADE FOR THE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM DATE HEREOF.

LEGAL DESCRIPTION (PER DOC. #1658415)

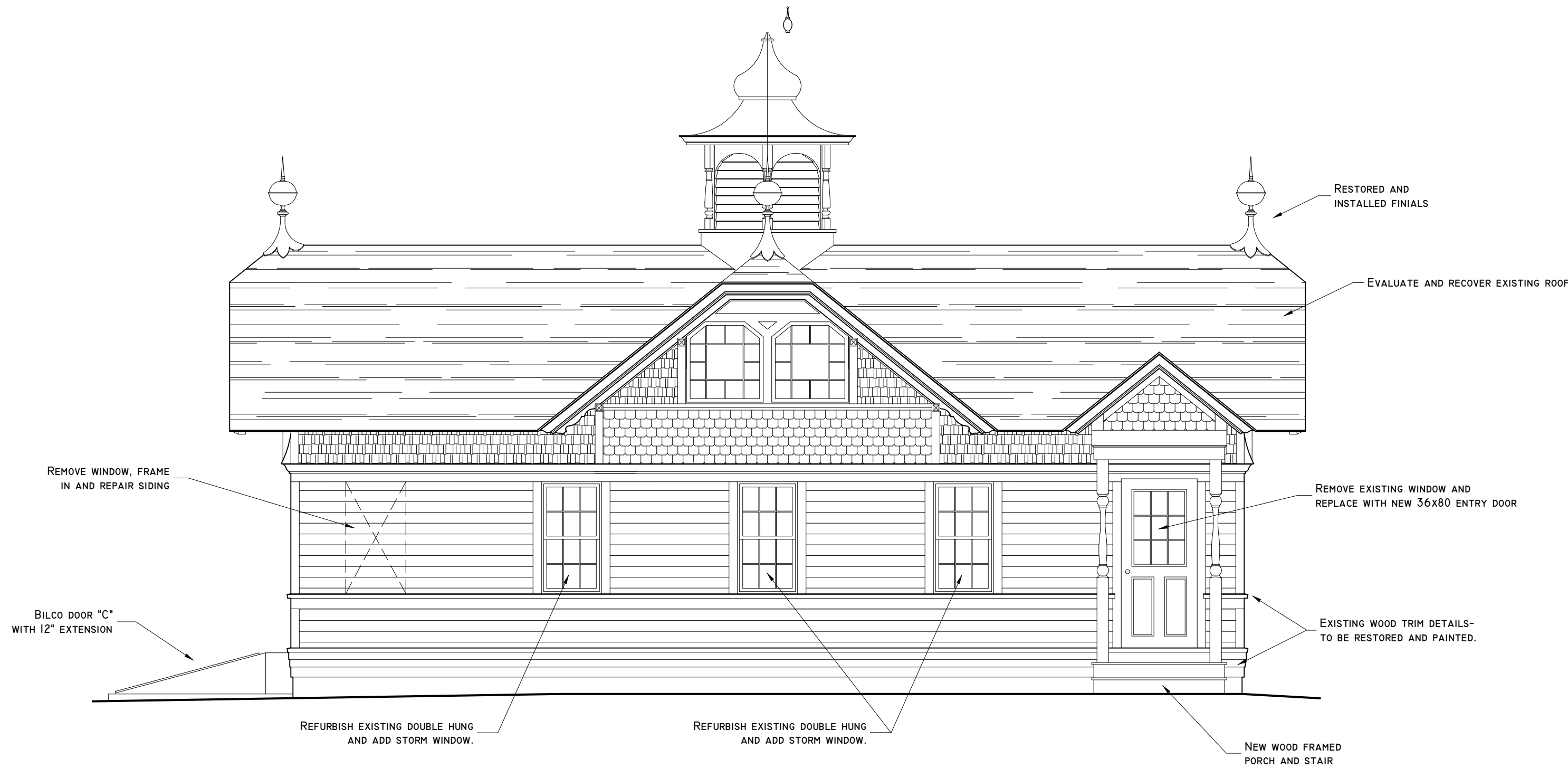
A parcel of land located in the Northeast 1/4 of section 29, Town 8 North, Range 18 East, in the Village of Chenequa, Waukesha County, Wisconsin, bounded and described as follows:

Commencing at a point in the East line of the West 65 rods (1072.50 feet East) and 1045.00 feet North of the South line of said 1/4 Section, said East line bearing North 0°18'00" West; thence North 0°18'00" West, along the East line of the West 65 rods, 455.00 feet to a point; thence North 84°57'00" East 410.00 feet to a point; thence South 9°26'30" East 245.00 to a point; thence South 74°00'54" East 189.99 feet to a point; thence South 12°12'00" West 147.60 feet to a point; thence South 84°57'00" West 600.00 feet to the point of beginning.

Grantor hereby conveys to Grantee all rights, including easements, Grantor has for ingress and egress from the premises conveyed hereby to County Trunk Highway "K" and County Trunk Highway "C". Grantor's access to County Trunk Highway "K" is not over the present roadway. Grantors do not warranty that they have rights to such access to County Trunk Highway "C".

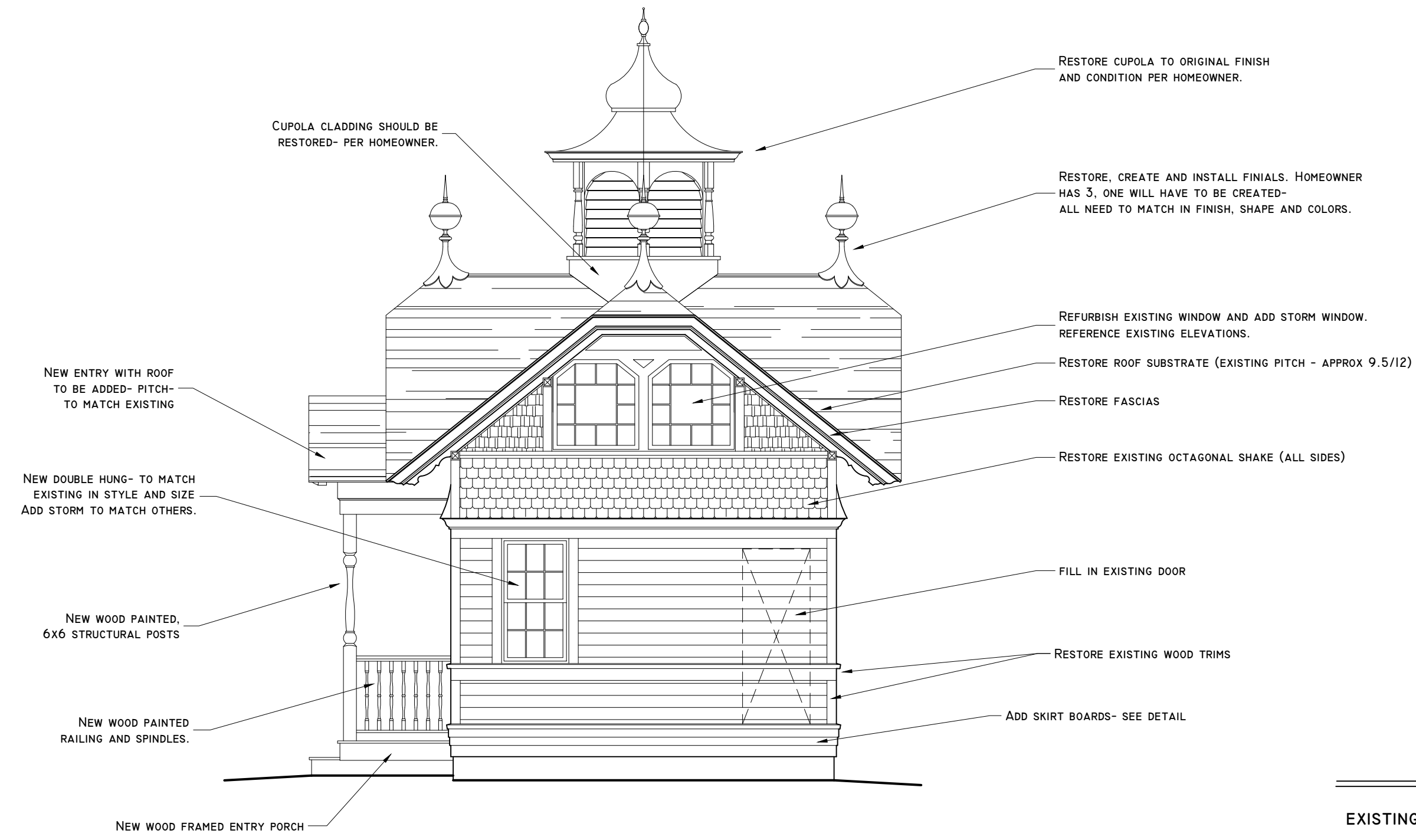


DATED THIS 4TH DAY OF JULY 2024.



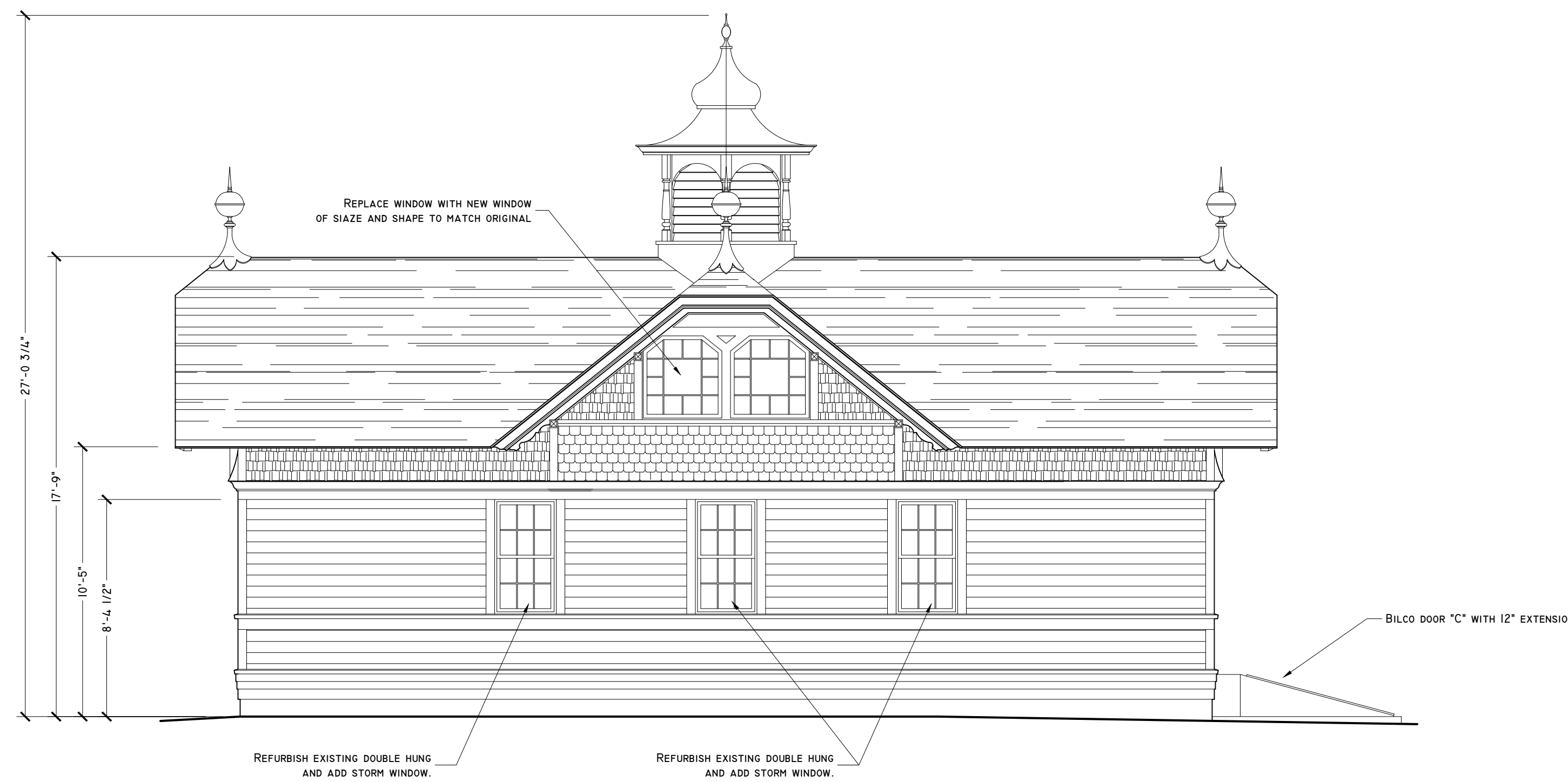
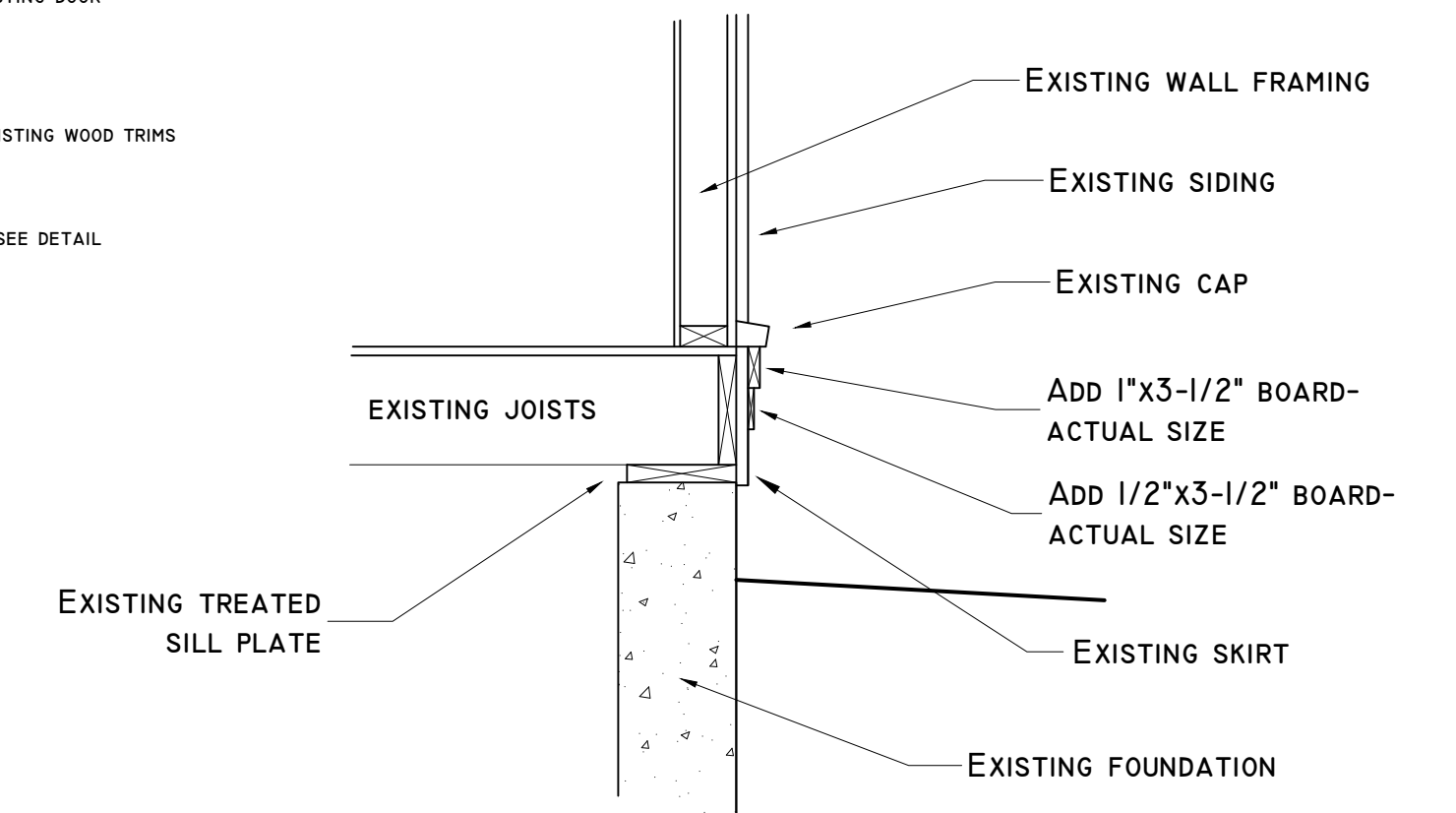
FRONT ELEVATION

SCALE: 1/4" = 1'0"



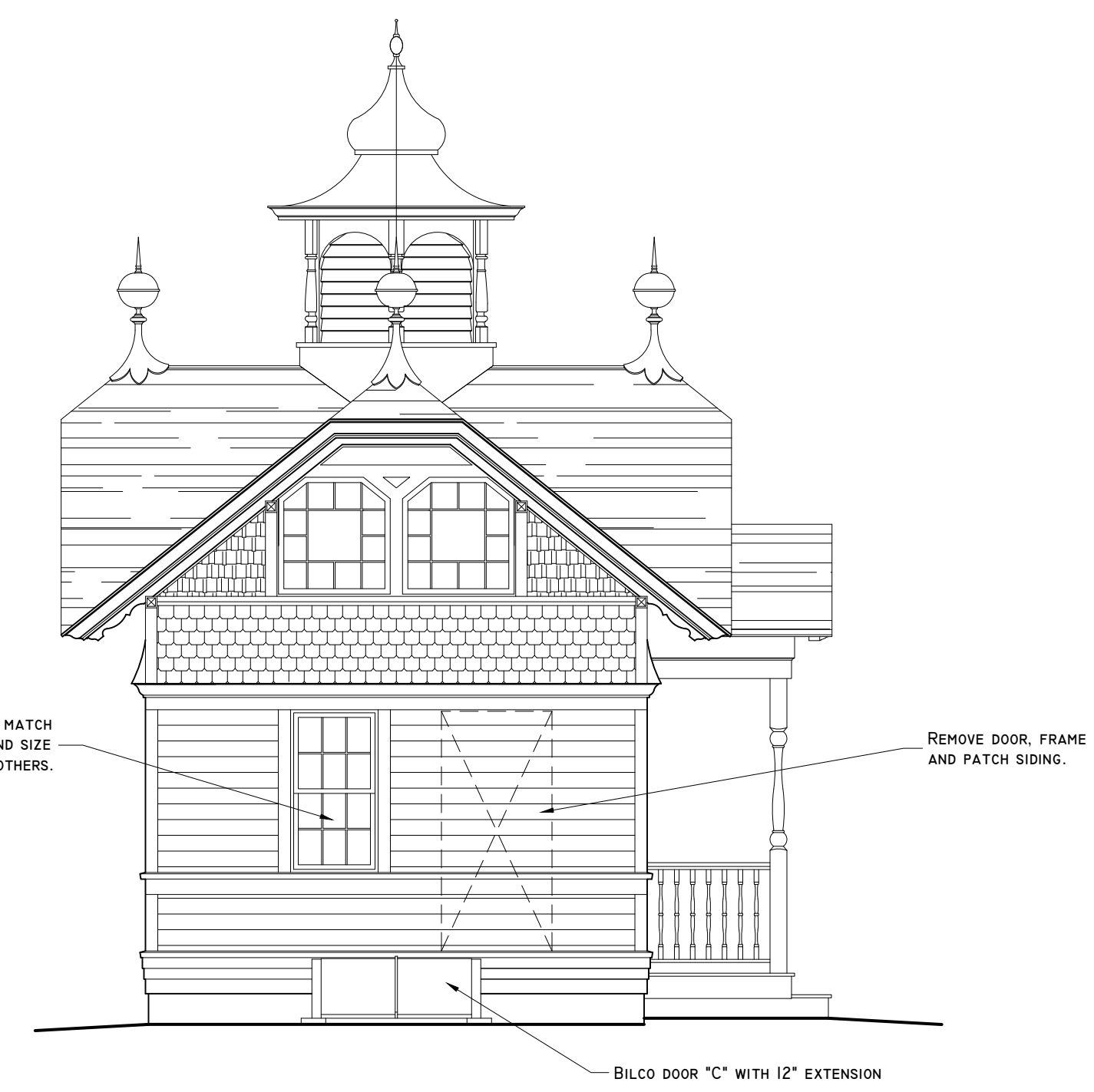
RIGHT ELEVATION

SCALE: 1/4" = 1'0"



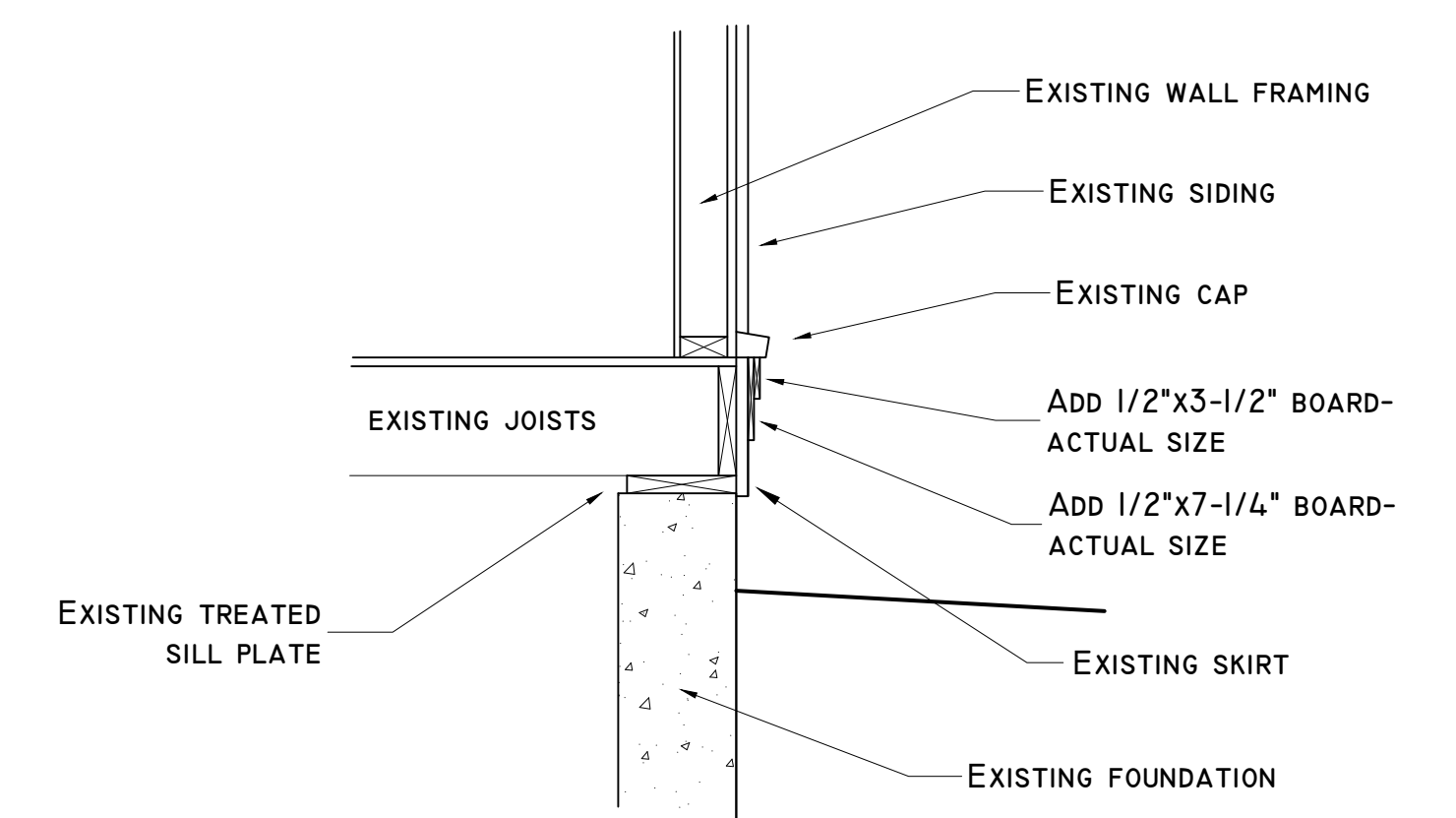
REAR ELEVATION

SCALE: 1/4" = 1'0"



LEFT ELEVATION

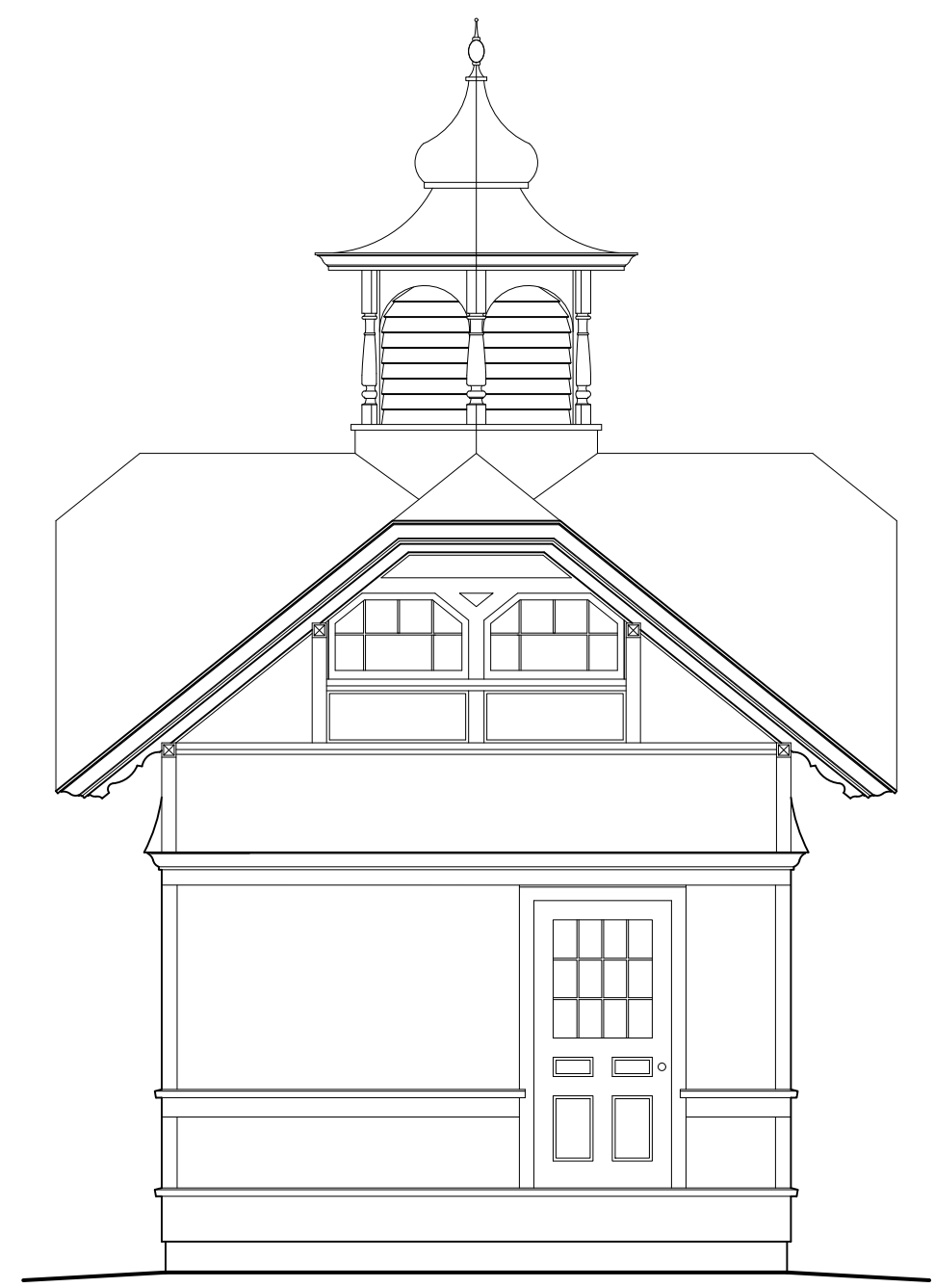
SCALE: 1/4" = 1'0"



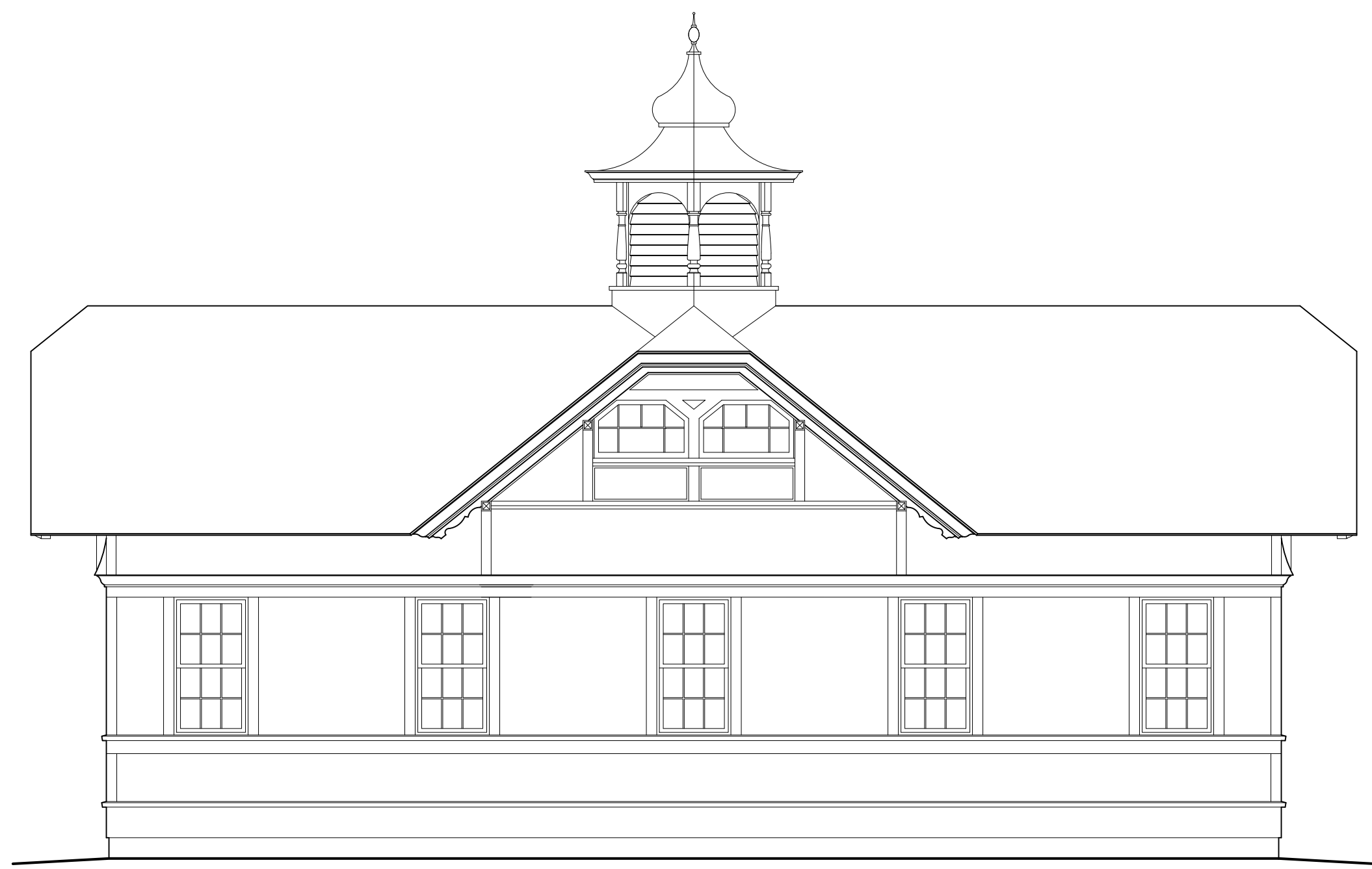
SKIRT DETAIL

SCALE: 3/4" = 1'0"

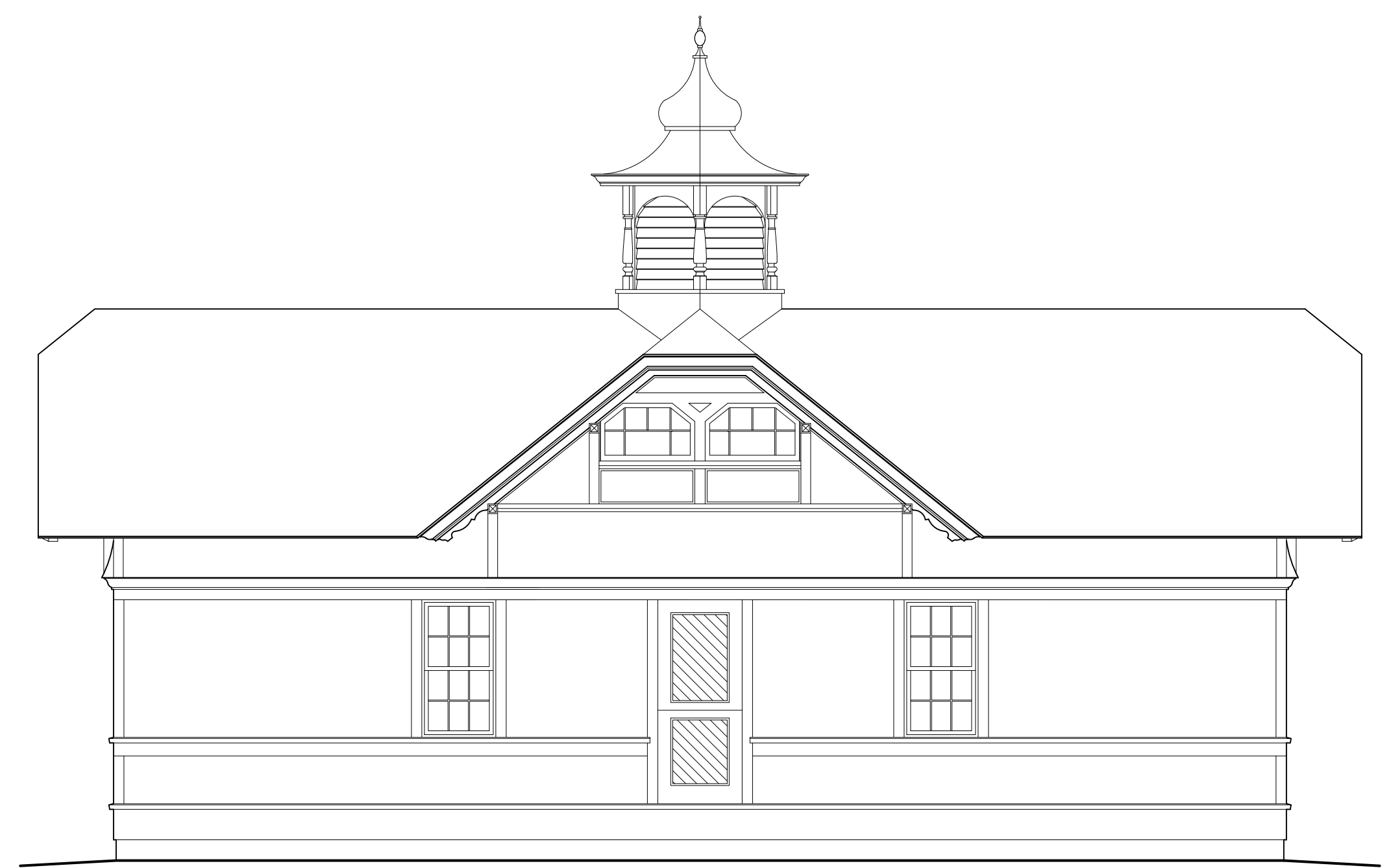
OR



**EXISTING
LEFT ELVATION**
SCALE: 1/4" = 1'0"



EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'0"



EXISTING REAR ELEVATION
SCALE: 1/4" = 1'0"



**EXISTING
RIGHT ELVATION**
SCALE: 1/4" = 1'0"

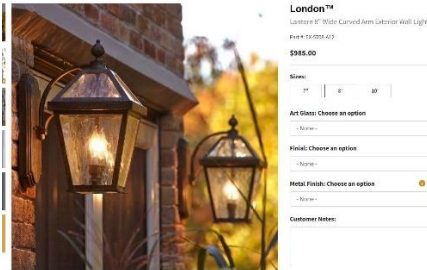
Outdoor Lighting Cut List for:

12/2/2024

Rebecca Brumder
6136 Brumder Road
Hartland, WI

Location: _____ **Quantity:** _____ **Finish:** _____ **Size:** _____

Front Door (2) Verdigris Patina 8"



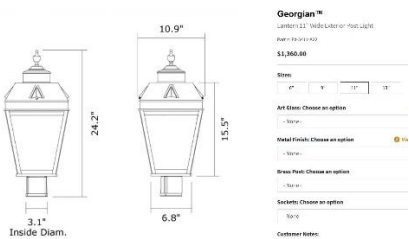
Bilco Door Light (1) Brass 14"



Pathway Lights (8) Verdigris Patina 19"



Post Lights for Parking (1) Verdigris Patina 14"





STAFF REVIEW

Date: December 3rd, 2024

Meeting Date & Time: Monday, December 9th at 6:00 p.m.

To: Plan Commission, Village of Chenequa

From: Planning Department

Subject: Site Plan Review

Owner: Bruce and Kathleen Brown

Property Address: 31706 W Pine Meadows Lane

Project Description: Proposed Astronomical Observatory

Zoning District: Residence District

	REQUIRED RES. DISTRICT		PROPOSED PROJECT	
LOT AREA:	5	acres	6.8	acres
LOT WIDTH: AVERAGE	200	L.F. min.	450	L.F.
YARD SETBACKS: Side (West)	10	ft. min.	300+	ft.
Rear (North)	25	ft. min.	250+	ft.
Front (South)	25	ft. min.	350+	ft.
Side (East)	10	ft. min.	100+	ft.
BUILDING HEIGHT:	35	ft. max	12.5	ft.

COMMENTS:

1. The applicant proposes to construct a new “Ash Dome astronomical observatory”
2. This is a round, silo shaped structure with a footprint of 98 square feet.
3. The observatory is 10.5’ in diameter X 12.5’ tall
4. The dome materials include;
 - a. A steel dome structure (prefinished from the factory to be silver in color)
 - b. A framed sub structure that would be painted to match the house color. (See photo sample of similar dome structure)
5. The applicant has noted that the lower 4’ of the dome structure will be obscured by prairie grasses during the summer months.

6. This structure will be visible from Pine Meadows drive and Treasure Island drive
7. There is no exterior lighting proposed on this structure
8. See proposed color sample provided in packet
9. See proposed location provided in packet
10. This is a legal-conforming lot
11. The proposed project meets all other requirements of the Village of Chenequa Zoning
12. The proposed detached accessory structure is over one hundred (100) feet to any existing single-family structure on an adjoining lot which complies with section Sec. 6.5(c)(i).
13. A building permit is required from the Building Inspector prior to construction

c: Dan Neumer, Administrator
Deanna Braunschweig, Clerk/Treasurer
Paul Launer, Lake Country Inspections
Bruce and Kathleen Brown, Owner
Cody Lincoln, Zoning Administrator

Dear Board Members,

We are requesting permission to build an Ash Dome astronomical observatory in our backyard. The Ash manufacturing company is located in Northern Illinois and has been building observatory domes for over 50 years for amateur astronomers and major research institutions. Their domes can be found all over the world. We're proposing to build one of their smallest observatories with a 3.2 m dome which is 10 ft 6 inches wide and 7 ft 6 inches high on top of a 10 ft 2 inch wide and 5 ft high substructure. The total observatory height will be 12 ft 6 inches. This would be built on top of a round concrete base that would extend 6 inches beyond the substructure with a 98 sq. ft. footprint. The dome is constructed out of steel and the substructure is 2 x 4 wood framing covered externally with plywood and aluminum outer layer. Entry is through a steel security door. Dome rotation and shutter functions are motorized.

The observatory would house a premium handmade 180 mm (7 inch) apochromatic refractor telescope made by Telescope Engineering Company in Golden, Colorado mounted on a 10 Micron German equatorial mount attached to a permanent steel pier. This mount is motorized and computer guided with the ability to go to and track any desired object in the night sky. This telescope is known for producing awe inspiring, very high resolution, high contrast images and is regarded by many amateur astronomers online as being their ultimate dream scope. If any of our neighbors are interested in looking through this telescope we would be more than happy to show them the night sky. It is truly awe inspiring when you see the moon, Jupiter, and Saturn with your own eyes through the eyepiece of a scope like this.

We've included pictures showing the height of the observatory as viewed from 400 feet on Pine Meadows Lane and from 300 feet on Treasure Island Drive. The observatory is about 300 feet from the Nobiles rear deck. The steel dome is finished in a silvery gray flat finish which turns darker gray as it ages and the sub structure would be painted our house color. The northern side of the observatory as viewed from Treasure Island Drive or anyone from the north would be in the shadows throughout much of the day because of the southern position of the sun. The lower one third of the observatory would be obscured by 4 foot high grasses in the wildflower area as viewed from Treasure Island Drive. There will be no external lighting. When observing at night with the shutter open, only a low intensity red glow will emanate from the observatory to provide operational lighting. The viewing area is primarily to the southeast, south, southwest, and zenith at night.

Construction only requires a few workers and can be accomplished within a few days. Construction ideally would be late Spring, 2025.

Sincerely,

Bruce and Kathy Brown

Cost estimates

Ash Observatory dome \$26,350

Substructure \$14,000

Concrete slab \$2000

Electrical work \$3000

Concrete floor finish \$1500

Construction labor \$10-\$20,000

EST. Cost \$ 56,850-66,850

TEC APO 180 FL F/7 Refractor telescope \$19,000

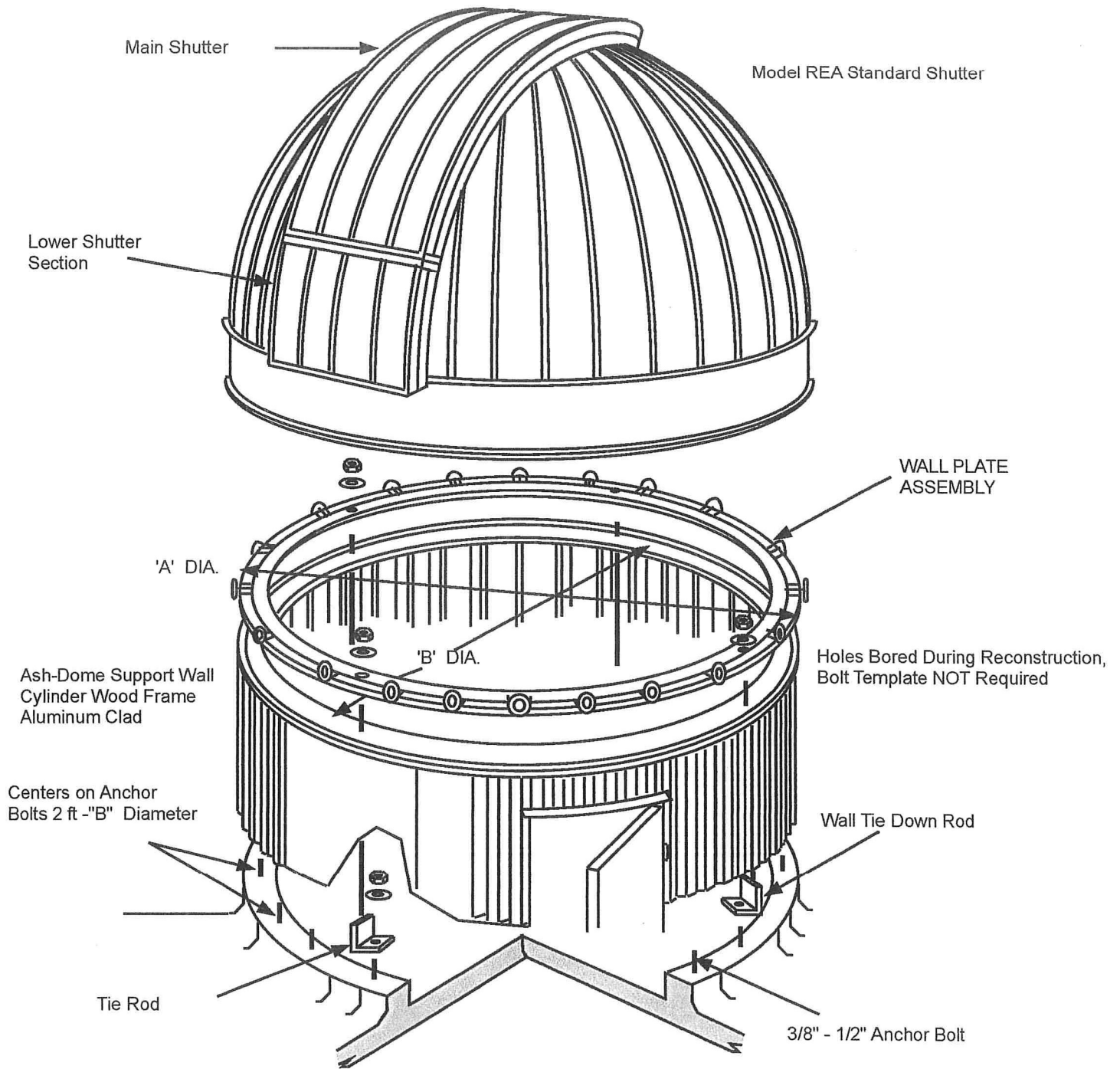
10 Micron GM2000 HPS II Combi German equatorial mount \$16,300

Steel Pier \$2000

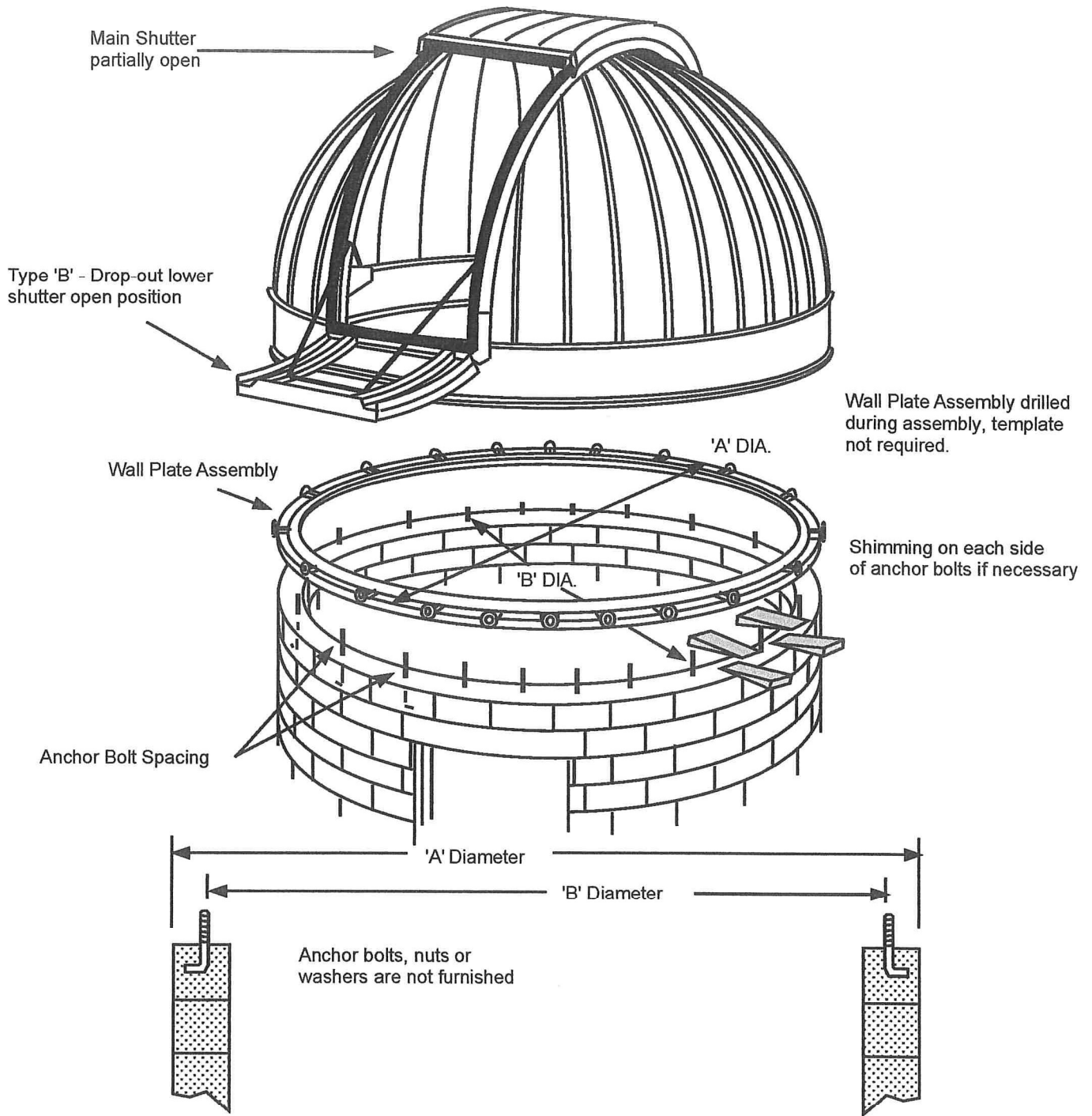
Telescope accessories \$5000

EST. Cost \$42,300

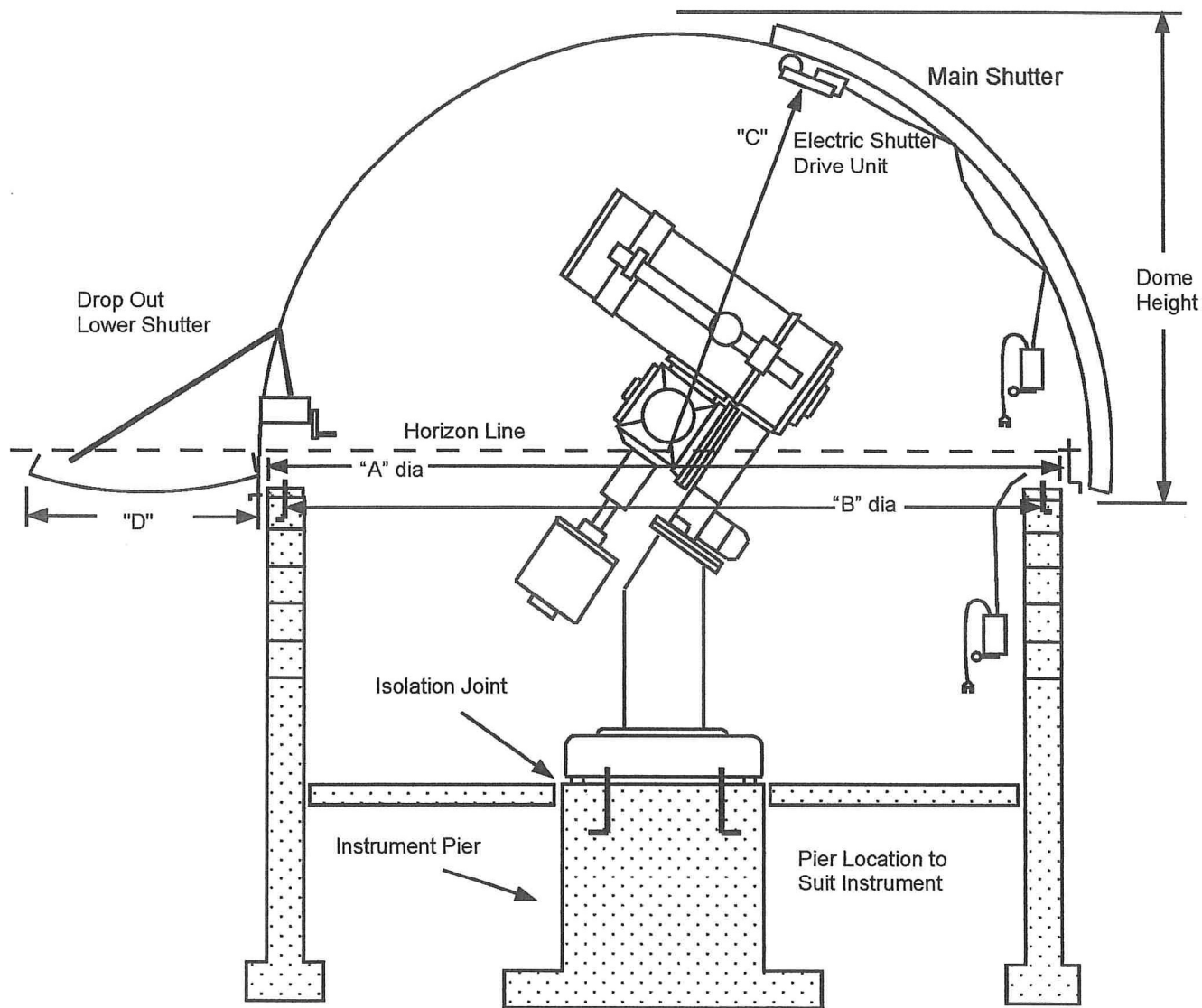
Total Cost est. \$ 99,150-\$109,150



DOMe DIAMETER	'A' DIAMETER OUTSIDE WALL PLATE	'B' DIAMETER ANCHOR BOLT CIRCLE	ANCHOR BOLTS REQUIRED	ANCHOR BOLT SPACING FOR WALL PLATE
8'0" (2.43m)	7'5" (2.26m)	6'11" (2.10M)	15	17-5/8"
10'6" (3.20m)	10'2" (3.09m)	9'6" (2.89M)	20	17-13/16"
12'6" (3.81m)	12'2" (3.70m)	11'6" (3.50M)	20	21-9/16"
14'6" (4.42m)	14'2" (4.31m)	13'6" (4.11M)	24	21-1/8"
16'6" (5.03m)	16'2" (4.92m)	15'6" (4.72M)	28	20-13/16"



DOME DIAMETER	'A' DIAMETER OUTSIDE WALL PLATE	'B' DIAMETER ANCHOR BOLT CIRCLE	ANCHOR BOLTS REQUIRED	ANCHOR BOLT SPACING
8'0" (2.43m)	7'5" (2.26m)	6'11" (2.10m)	15	17 - 5/8" (44.7cm)
10'6" (3.20m)	10'2" (3.09m)	9'6" (2.89m)	20	17 - 13/16" (45.2cm)
12'6" (3.81m)	12'2" (3.70m)	11'6" (3.50m)	20	21 - 9/16" (54.7cm)
14'6" (4.42m)	14'2" (4.31m)	13'6" (4.11m)	24	21 - 1/8" (53.6cm)
16'6" (5.03m)	16'2" (4.92m)	15'6" (4.72m)	28	20 - 13/16" (52.8cm)



Dome Diameter	Dome Height	"A" Diameter Wall Plate OD	"B" Anchor Bolt Circle	"C" Closest Obstruction	"D" Drop Out Length
8'0" (2.4m)	6'1/2"	7'5" (2.2m)	6'11" (2.1m)	3'0"	3'0"
10'6" (3.2m)	7'1/2"	10'2" (3.0m)	9'6" (2.8m)	4'1"	4'0"
12'6" (3.8m)	8'1/2"	12'2" (3.7m)	11'6" (3.5m)	5'1"	4'4"
14'6" (4.4m)	9'1/2"	14'2" (4.3m)	13'6" (4.1m)	6'1"	4'6"
16'6" (5.0m)	10'1/2"	16'2" (4.9m)	15'6" (4.7m)	7'1"	5'2"

Brown- Proposed Observatory



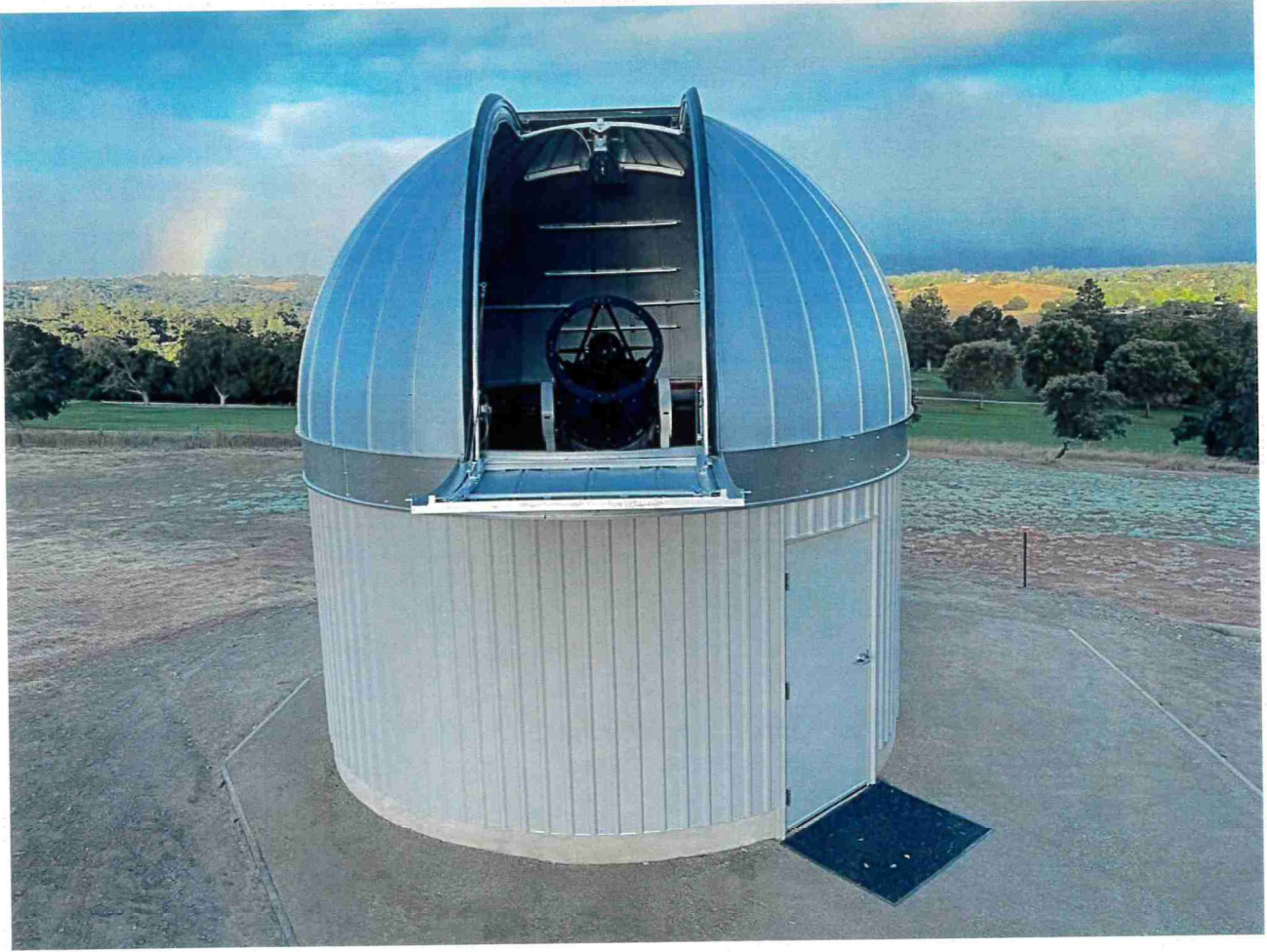
0 100.00 Feet

Notes: The blue dot on map represents the proposed location of the observatory on the property.

The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.



STANFORD UNIVERSITY 4.5' DOME OBSERVATORY 16'6" DOME



our DOME would BE 10'6"

TEC FL 180 F/7 TELESCOPE ON A 10 MICRON GM 2000 HPS 11 MOUNT. OURS MOUNTED ON A PERMANENT STEEL PIER.



@yuri80228 Subscribe 10 M 2000HPS @ 20 deg/sec with TEC APO180

SMALL WHITE DOT IN CENTER LOCATED
ON A 12.5 FT POLE AS VIEWED FROM
PINE MEADOWS LN. 400 FT AWAY.



SMALL WHITE DOT IN CENTER LOCATED ON
A 12.5 FT POLE AS VIEWED FROM TREASURE
ISLAND DRIVE 300 FT. AWAY.





STAFF REVIEW

Date: December 3rd, 2024

Meeting Date & Time: Monday, December 9th at 6:00 p.m.

To: Plan Commission, Village of Chenequa

From: Planning Department

Subject: Site Plan Review

Owner: Paul and Linda Oswald

Location: 31898 W Treasure Island Drive

Project Description: New Accessory Structure

Zoning District: Residence District

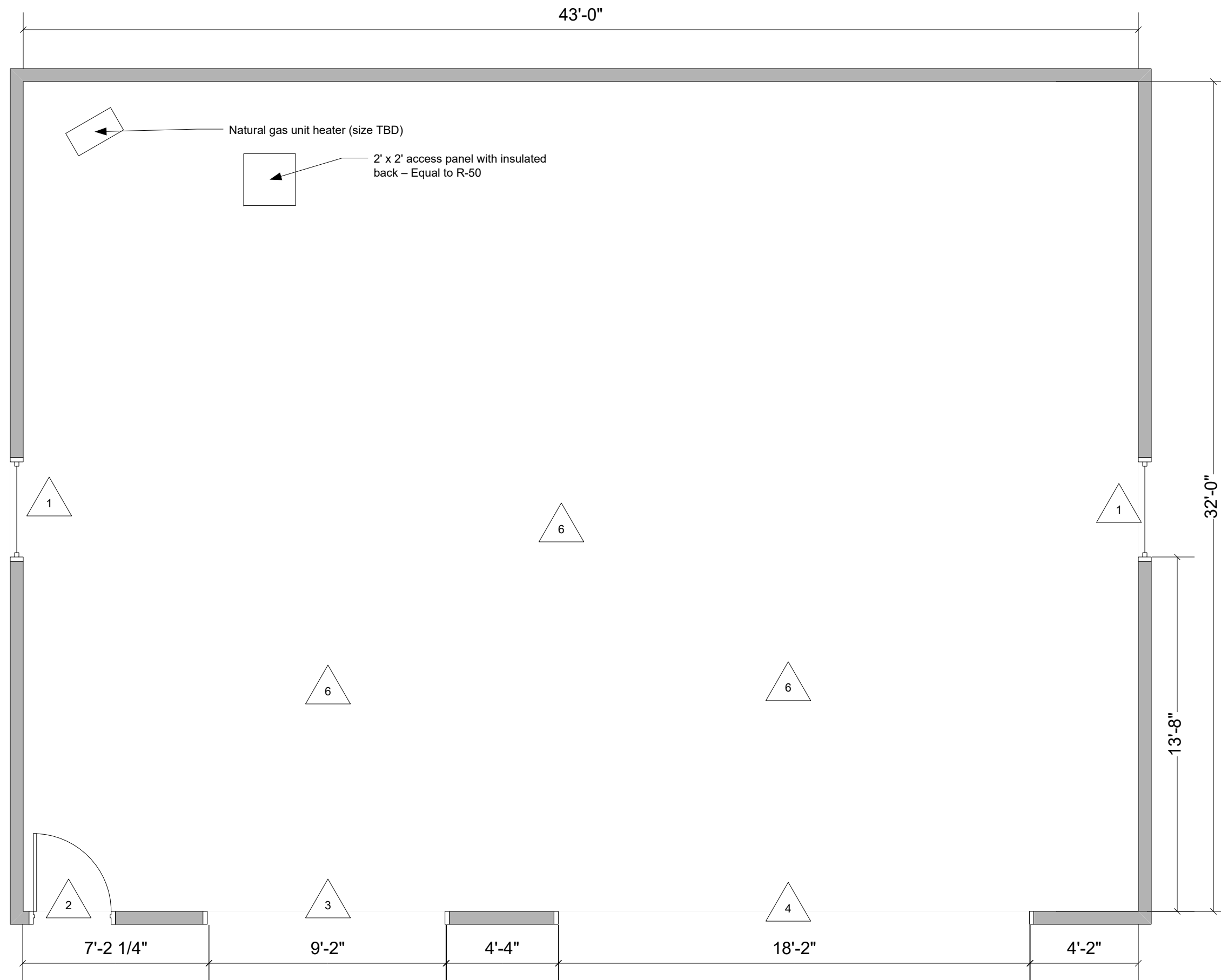
ACCESSORY STRUCTURE:	REQUIRED RES. DISTRICT		PROPOSED PROJECT	
LOT AREA:	5	acres	5	Acres
LOT WIDTH: AVERAGE	200	L.F. min.	330	L.F.
YARD SETBACKS: Rear (North)	25	ft. min.	292.04	ft.
Side (West)	11.5	ft. min.	364.18	ft.
Side (East)	11.5	ft. min.	12.66	ft.
Front (South)	25	ft. min.	236.7	ft.
BUILDING HEIGHT:	35	ft. max	22.875	ft.

Proposed Accessory Structure

1. The applicants propose to construct an accessory structure on their property.
2. The dimensions of this proposed accessory structure are 34'x 45'.
3. There is no plumbing, cooking or sleeping facilities proposed for this structure
4. The proposed structure is over one hundred (100) feet to any existing single-family structure on an adjoining lot which complies with section Sec. 6.5(c)(i).
5. This structure is proposed to be sheathed "Colorado Pine's Moss Fieldstone" and LP smart side/Hardie panel with a stucco pattern finish. These materials will be installed with intentions to match the primary dwelling. (See sample photo of primary dwelling garage)

6. The roof of this structure is proposed to be asphalt shingle to match the primary dwelling
7. An exterior light option has been submitted
 - a. The proposed lights match the primary dwelling and comply with the requirements specified in 5.24
8. A building permit is required from the Building Inspector prior to start of construction.

c: Dan Neumer, Administrator
Deanna Braunschweig, Clerk
Paul Launer, Lake Country Inspections
Paul and Linda Oswald, Owner
Cody Lincoln, Zoning Administrator

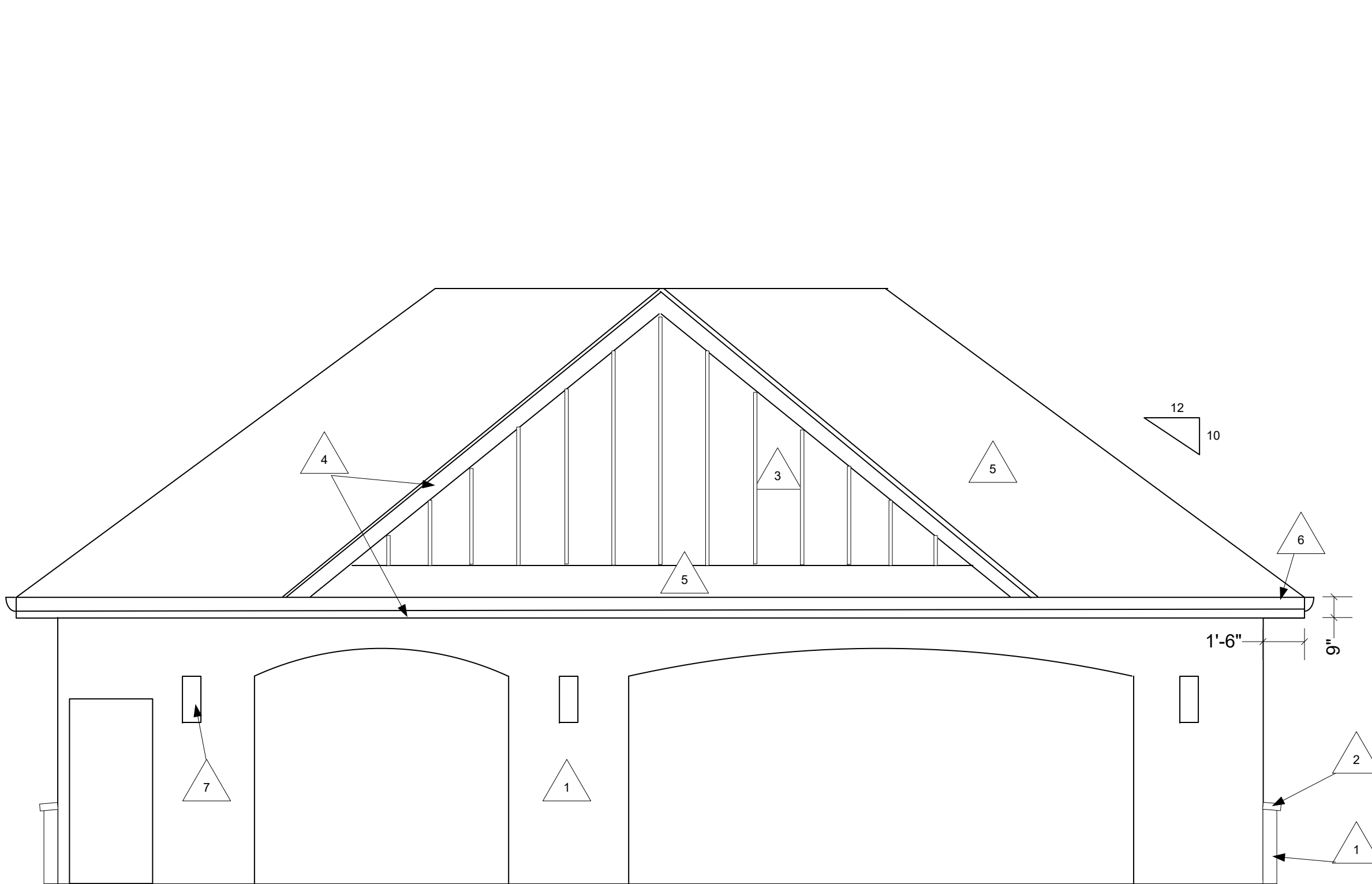


Natural gas unit heater (size TBD)

2' x 2' access panel with insulated back – Equal to R-50

- 1 Marvin – Ultimate Casement w/pebble grey clad exterior brick mold, Dover white interior painted finish, Dover white hardware, SDL 1-1/8" with spacers. RO 57" x 47 5/8"
- 2 3-0 x 6-8 2-panel arch top Andersen Sandstone Insulated metal door to match existing. Provide Schlage keyless lock/handle
- 3 9 x 8 Geis Custom Door with arches Steel Thermal Base (R-18) Clear Vertical Cedar Overlay – smooth face Heavy Duty track and hardware Copper flashing along bottom rail Perimeter weatherstrip Pre-stained – 3 coats of Sikkens to match existing doors - Butternut 1 pair Aluminum pulls – Black to match existing doors
- 4 18 x 8 Geis Custom Door with arches Steel Thermal Base (R-18) Clear Vertical Cedar Overlay – smooth face Heavy Duty track and hardware Copper flashing along bottom rail Perimeter weatherstrip Pre-stained – 3 coats of Sikkens to match existing doors - Butternut 1 pair Aluminum pulls – Black to match existing doors
- 5 5" Sloped concrete slab 6 x 6 wire mesh reinforcing 2" extruded rigid insulation w/ taped seams 6" min compacted coarse aggregate Control joints TBD Floor to be sealed with concrete sealer
- 6 2 – Lift Master ¾ Heavy Duty Openers 2 – 3 button remotes 1 – Keypad 1 – Internet gateway

PAGE	TITLE
1 of 6	Oswald Residence New Garage
SCALE	REVISED
¼" = 1'	10/8/24



- 1 Colorado Pine's Moss Fieldstone
 (full height, West elevation), to match existing

- 2 Odessa Sill to match existing
 (typical N, S, E elevations)

- 3 LP Smart Panel Siding or Hardie Panel – Stucco
 Pattern Finish, Board & Batt – Sherwin Williams
 7506 Loggia, to match existing

- 4 LP Smart Side Trim to match existing
 Cedar texture
 Sherwin Williams 7504 Keystone Grey
 Typical all elevations

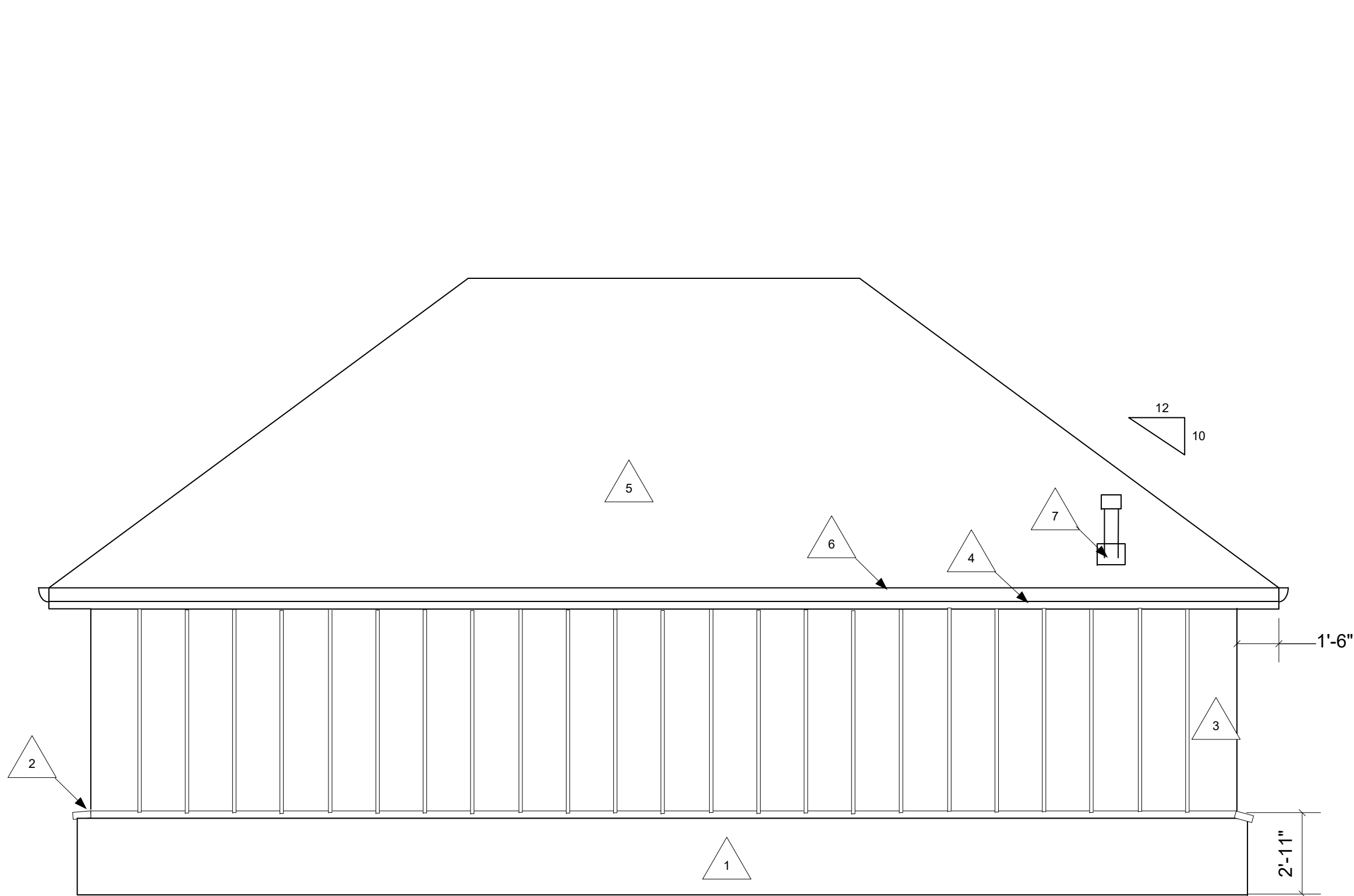
- 5 CertainTeed Grand Manor Weathered Wood
 Valleys color-matched to roof
 Shingled Continuous Ridge Vent

- 6 Heavy gauge (.032) seamless aluminum 5" K-
 style gutters installed behind flashing. Secured
 24" OC with hidden hangers and 1-½" ceramic
 coated screws with neoprene washers into fascia
 board. High capacity 3" x 4" downspouts with
 extensions.
 Finish – Clay
 With MicroMesh "Leaf Solution" gutter guards
 Typical all elevations

- 7 Light fixtures to match existing

West Elevation

PAGE	TITLE
2 of 6	Oswald Residence New Garage
SCALE	REVISED
¼" = 1'	10/8/24

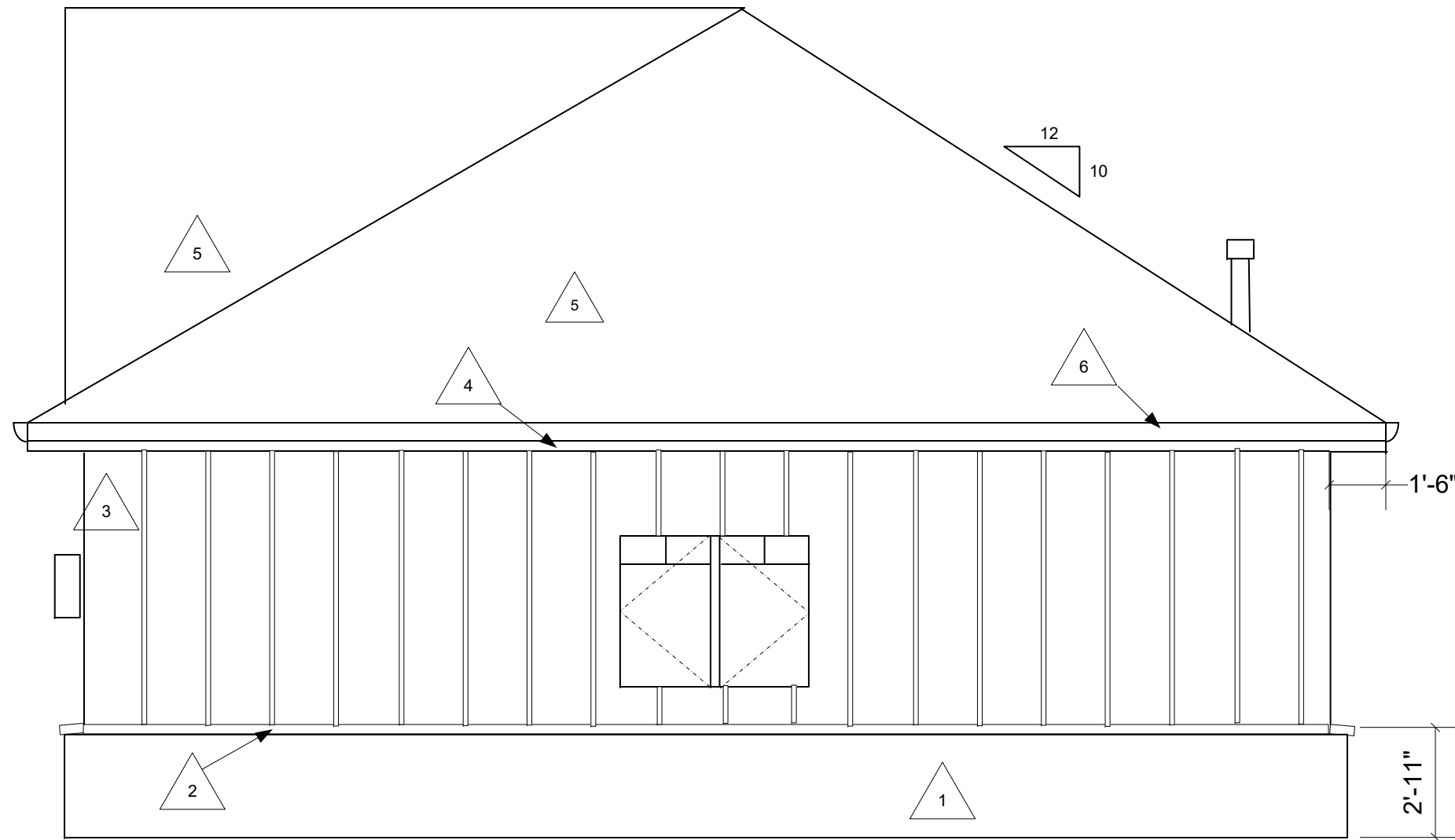


- 1 Colorado Pine's Moss Fieldstone
 (full height, West elevation), to match existing
- 2 Odessa Sill to match existing
 (typical N, S, E elevations)
- 3 LP Smart Panel Siding or Hardie Panel – Stucco
 Pattern Finish, Board & Batt – Sherwin Williams
 7506 Loggia, to match existing
- 4 LP Smart Side Trim to match existing
 Cedar texture
 Sherwin Williams 7504 Keystone Grey
 Typical all elevations
- 5 CertainTeed Grand Manor Weathered Wood
 Valleys color-matched to roof
 Shingled Continuous Ridge Vent
- 6 Heavy gauge (.032) seamless aluminum 5" K-
 style gutters installed behind flashing. Secured
 24" OC with hidden hangers and 1-1/2" ceramic
 coated screws with neoprene washers into fascia
 board. High capacity 3" x 4" downspouts with
 extensions.
 Finish – Clay
 With MicroMesh "Leaf Solution" gutter guards
 Typical all elevations
- 7 Vent for gas heater

East Elevation

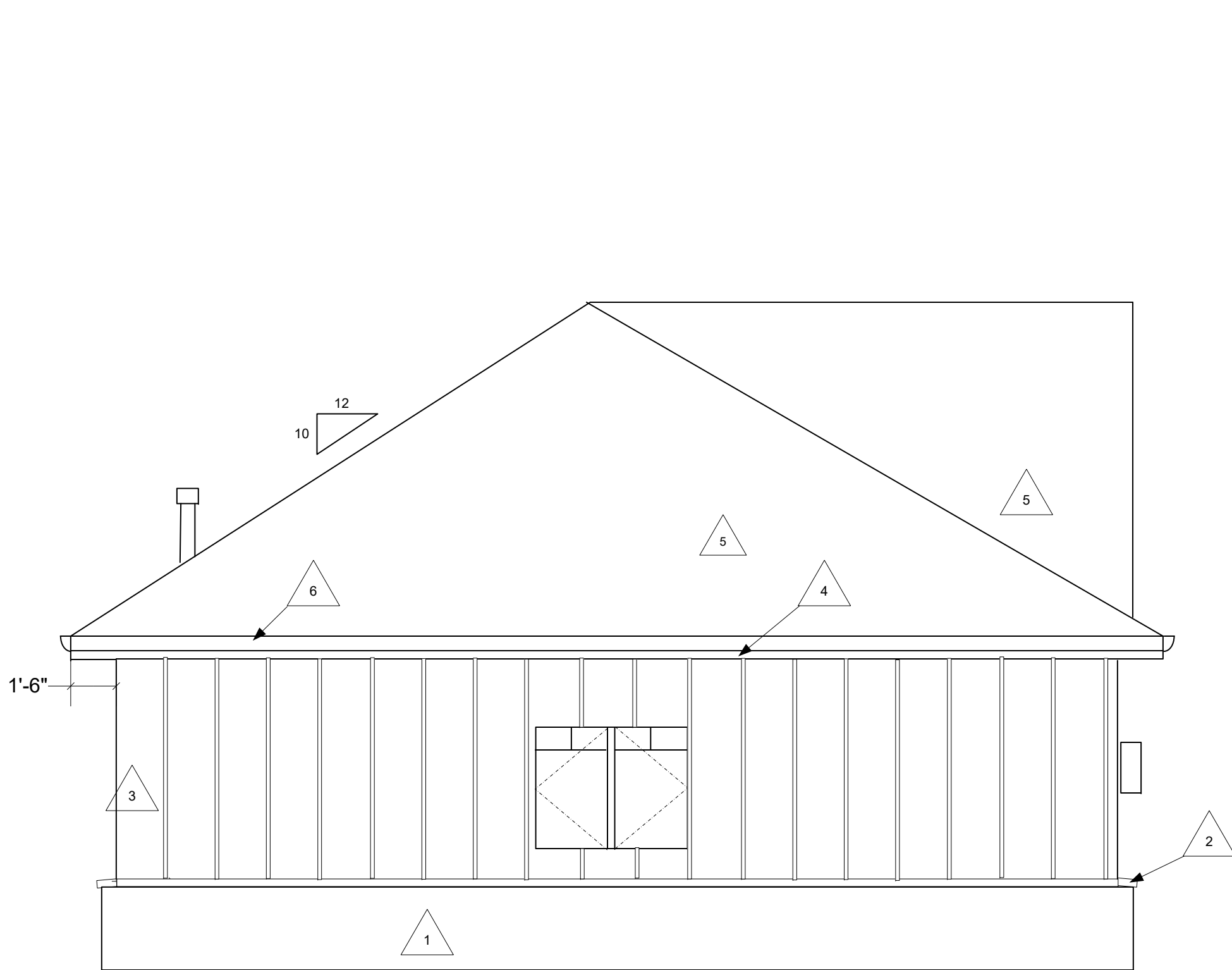
PAGE	TITLE
3 of 6	Oswald Residence New Garage
SCALE	REVISED
1/4" = 1'	10/8/24

- 1 Colorado Pine's Moss Fieldstone
(full height, West elevation), to match existing
- 2 Odessa Sill to match existing
(typical N, S, E elevations)
- 3 LP Smart Panel Siding or Hardie Panel – Stucco
Pattern Finish, Board & Batt – Sherwin Williams
7506 Loggia, to match existing
- 4 LP Smart Side Trim to match existing
Cedar texture
Sherwin Williams 7504 Keystone Grey
Typical all elevations
- 5 CertainTeed Grand Manor Weathered Wood
Valleys color-matched to roof
Shingled Continuous Ridge Vent
- 6 Heavy gauge (.032) seamless aluminum 5" K-
style gutters installed behind flashing. Secured
24" OC with hidden hangers and 1-1/2" ceramic
coated screws with neoprene washers into fascia
board. High capacity 3" x 4" downspouts with
extensions.
Finish – Clay
With MicroMesh "Leaf Solution" gutter guards
Typical all elevations



South Elevation

PAGE		TITLE	
4 of 6		Oswald Residence New Garage	
SCALE 1/4" = 1'		REVISED 10/8/24	



North Elevation

- 1 Colorado Pine's Moss Fieldstone
 (full height, West elevation), to match existing

- 2 Odessa Sill to match existing
 (typical N, S, E elevations)

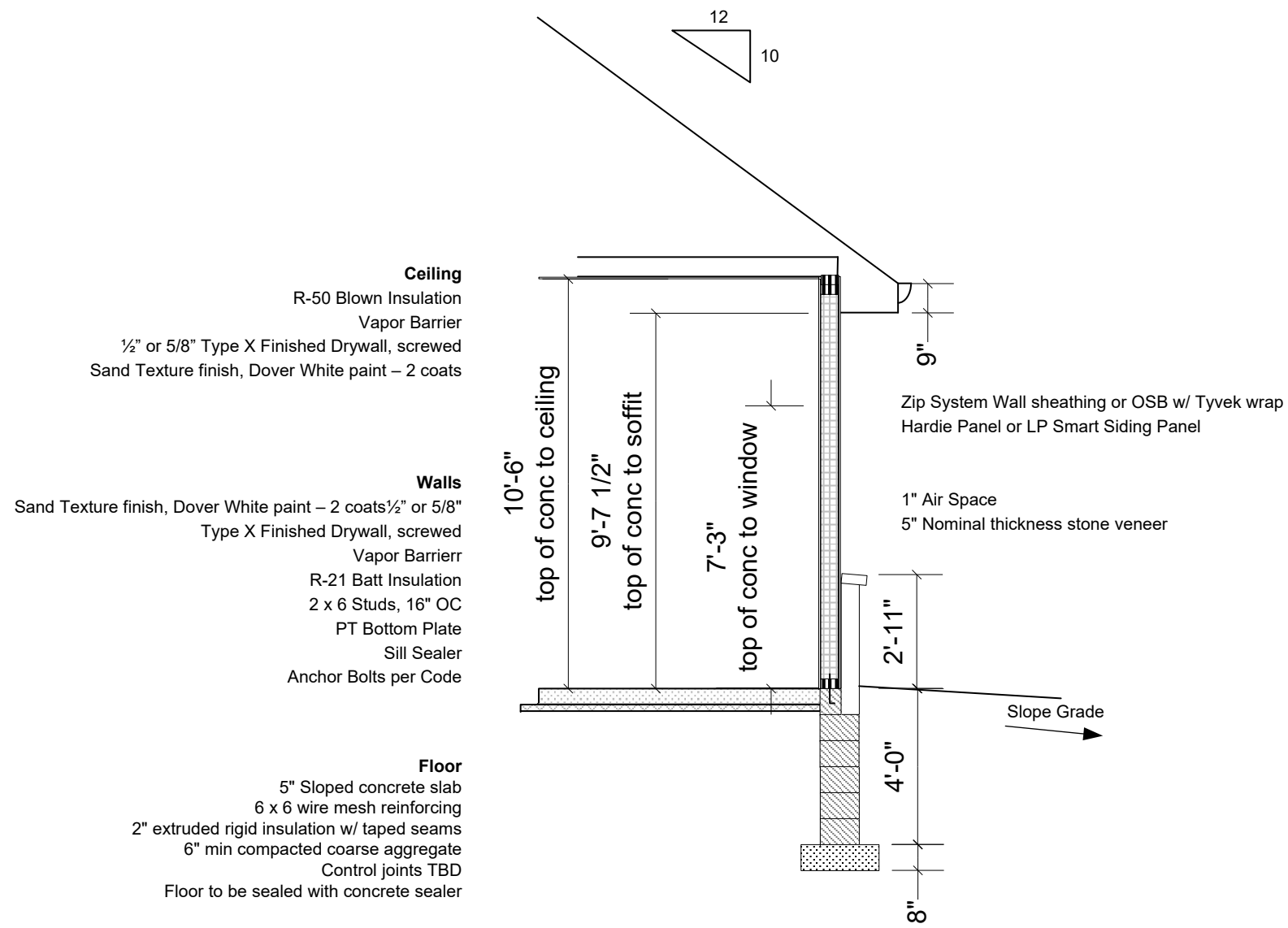
- 3 LP Smart Panel Siding or Hardie Panel – Stucco
 Pattern Finish, Board & Batt – Sherwin Williams
 7506 Loggia, to match existing

- 4 LP Smart Side Trim to match existing
 Cedar texture
 Sherwin Williams 7504 Keystone Grey
 Typical all elevations

- 5 CertainTeed Grand Manor Weathered Wood
 Valleys color-matched to roof
 Shingled Continuous Ridge Vent

- 6 Heavy gauge (.032) seamless aluminum 5" K-
 style gutters installed behind flashing. Secured
 24" OC with hidden hangers and 1-½" ceramic
 coated screws with neoprene washers into fascia
 board. High capacity 3" x 4" downspouts with
 extensions.
 Finish – Clay
 With MicroMesh "Leaf Solution" gutter guards
 Typical all elevations

PAGE	TITLE
5 of 6	Oswald Residence New Garage
SCALE	REVISED
¼" = 1'	10/8/24



Wall Section



Existing Finish Detail

PAGE	TITLE
6 of 6	Oswald Residence New Garage
SCALE	REVISED
1/4" = 1'	10/8/24

PLAT OF SURVEY

LOT 3 OF CSM 10681 BEING A PART OF THE NW 1/4 AND SW 1/4 OF THE SW 1/4 OF SECTION 33, AND PART OF THE SE 1/4 OF THE SE 1/4 OF SECTION 32, ALL IN TOWNSHIP 8 NORTH, RANGE 18 EAST, VILLAGE OF CHENEQUA, WAUKESHA COUNTY, WISCONSIN.

LOT 2
CSM 6405

(N 88°58'00" E)
S 89°46'36" E 588.00'

LOT 2
CSM 10681
N 01°26'35" E 391.07'

LOT 1
CSM 10681

N 89°01'10" E 240.29'
(N 87°45'47" E)

(N 03°31'32" E)
N 04°46'56" E 198.37'

CURVE #	RADIUS	DELTA	ARC DIST	CHORD DIST	CHORD BEARING
C1	414.20'	13°36'31"	98.38'	98.15'	S 84°13'32" W (S 82°58'09" W)

LOT 3
217,844 S.F.
5.001 ACRES

BENCHMARK: CP
SPIKE = 933.93'

BENCHMARK: CP
SPIKE = 933.83'

WETLANDS PER
WAUKESHA COUNTY GIS

NON-EXCLUSIVE
INGRESS-EGRESS
EASEMENT FOR LOT 2
PER CSM 10681

UNPLATTED LANDS

TREASURE ISLAND DRIVE
25' WIDE R.O.W.

(N 89°46'24" W)
N 88°58'12" W 500.43'
(N 89°46'24" W)

IP. F.
1.4' SW
FENCE
3.0' W.

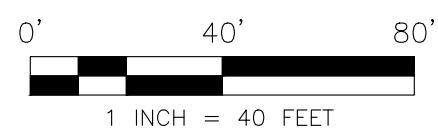
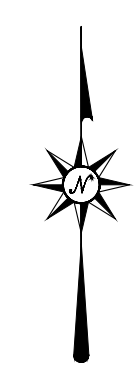
FENCE
2.8' W.

FENCE
0.2' E

FENCE
0.5' W

NOTES:

- A TITLE COMMITMENT HAS NOT BEEN PROVIDED. AN ADDITIONAL SEARCH FOR EASEMENTS OF RECORD HAS NOT BEEN COMPLETED.
- ENTIRE PARCEL FALLS WITHIN THE PRIMARY ENVIRONMENTAL CORRIDOR PER WAUKESHA COUNTY GIS.
- SURVEY PREPARED FOR VERIFICATION OF EAST BOUNDARY ONLY AND FUTURE GARAGE CONSTRUCTION.



BEARINGS BASED ON GRID NORTH OF THE WISCONSIN COUNTY COORDINATE SYSTEM, WAUKESHA COUNTY ZONE (NAD 83 WISCORS 2011) AND REFERENCED TO THE EAST LINE OF LOT 3 OF CSM 10681 MEASURED AS S 04°29'48"W.

VERTICAL DATUM IS NAVD 88 (GEOID 12A)

LEGEND

- FOUND 1" IRON PIPE OR NOTED CONTROL POINT BENCHMARK
- ⊙ TV PED
- ⊕ ELECTRIC PED
- ⊙ UTILITY POLE
- ⊙ LIGHT
- ⊕ FLOOR ELEVATION
- ⊕ EXISTING SPOT GRADE
- ⊕ EXISTING CONTOUR
- ⊕ WIRE FENCE
- ⊕ CON. TREE WITH TRUNK DIA.
- ⊕ RECORD DIMENSION
- ⊕ UTILITY ACCESS BOX



SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, BOUNDARY FENCES, APPARENT EASEMENTS, ROADWAY AND VISIBLE ENCROACHMENTS, IF ANY. THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE, THE TITLE THERETO WITHIN ONE (1) YEAR FROM DATE HEREOF.

SIGNED: MATTHEW T. O'ROURKE, PROFESSIONAL LAND SURVEYOR S-2771



REV.			
REV.			
REV.			
REV.			
LOCATION	31898 W. TREASURE ISLAND DR. HARTLAND, WI 53029 TAX KEY: CHQV0416994003		
DRAWN BY	LJS	CHECKED BY	MTO

CLIENT	PAUL & LINDA OSWALD
PROJECT	PARTIAL BOUNDARY & TOPO
LAYOUT	PROPOSED GARAGE
DRAWING	24242_SURVEY.DWG
DATE	10/30/2024
JOB NO.	24242
SHEET	1 OF 1

(S 02°28'46" W)
N 03°44'04" E
5.00'





STAFF REVIEW

Date: December 3rd, 2024 **Meeting Date & Time:** Monday, December 9th, 2024 at 6:00 P.M.

To: Plan Commission, Village of Chenequa

From: Planning Department

Subject: Site Plan Review

Landscaper: Hoerr Schaudt

Owner: Michael Gehl

Location: 5721 N State Road 83

Project Description: Proposed Landscape Plan

Zoning District: Residence District - Lot Abutting a Lake

Proposed Landscaping

1. A landscape plan has been submitted by Hoerr Schaudt on behalf of Michael Gehl that requires Plan Commission and Village Board Approval.
2. The landscaping plan includes;
 - a. Driveway Reworking
 - i. The applicant is proposing to realign and repave the existing driveway.
 1. The “Motor Court” and parking area will be proposed to be concrete.
 2. The remainder of the driveway will be asphalt.
 3. This driveway realignment will result in a net decrease in impervious surface.
 4. The new driveway layout can be seen on L-0.04 compared to existing on L-0.02
 5. Bordering the driveway is a dry stacked stone retaining wall that will remain.
 6. The existing boat launch will also remain.
 7. A majority of this driveway falls within the 75’ setback of the high-water mark of Pine Lake.
 - b. New Entryway
 - i. The applicant is also proposing to rework the main entryway and secondary entryway to the home.
 1. There is currently a board formed concrete wall that extends from

the residence near the main entrance. The applicant proposed to shorten the length of this retaining wall by 14'9".

- a. A detail of this proposed reworking can be found on L7.10 of the provided plans.
- b. As depicted, there will be a 1' tall X 1' wide portion of curb added near the end of the walkway.
- c. Both entries to the home will be paved with granite pavers as shown in plans
- d. The main entrance is within the 75' setback of the OHWM

c. Path

- i. Along the northside of the home the applicant proposes to better define a path that connects an exit to the south side of the home.
- ii. This proposed path will also be constructed of granite pavers
- iii. This path does not exceed 4' in width where it lies within the 30' setback of the ordinary high-water mark.

d. Terraces

- i. On the south side of the home the applicant proposes to remove an existing deck and replace it with a stone terrace within the same footprint. This terrace will be constructed of granite pavers.
 1. This terrace will be entirely outside the 30' setback as required by 6.5(4)(a)(i) (B)
 2. Behind the stone terrace is existing timber retaining walls. These are to remain.
- ii. Additionally, the applicant proposes to add a "lower terrace" identified as "P-7" on page L-4.00
 1. This terrace will be entirely outside the 30' setback as required by 6.5(4)(a)(i) (B)

e. Plantings

- i. L-5.0 shows the proposed plantings associated with this project
- ii. L.5.01 shows the areas on the property that will be converted from turf grass to "no mow fescue".

c: Dan Neumer, Administrator
Deanna Braunschweig, Clerk
Paul Launer, Lake Country Inspections
Michael Gehl, Owner
Hoerr Schaudt, Landscape architect
Cody Lincoln, Zoning Administrator

PRIVATE RESIDENCE

5721 WI-83 Hartland, WI

ISSUE FOR PERMIT
2024-12-02

LOCATION MAP:



Sheet List Table		FOR PERMIT 2024-09-12
Sheet Number	Sheet Title	
L-0.00	COVER SHEET	●
L-0.01	GENERAL NOTES	●
L-0.02	EXISTING CONDITIONS	●
L-0.03	OVERALL SITE PLAN	●
L-0.04	SITE PLAN ENLARGEMENT	●
L-1.00	SITE REMOVALS AND PROTECTION PLAN	●
L-2.00	OVERALL SOILS AND BACKFILL PLAN	●
L-3.00	LAYOUT PLAN - OVERALL	●
L-4.00	MATERIALS PLAN	●
L-5.00	OVERALL PLANTING PLAN - STRUCTURE	●
L-5.01	OVERALL PLANTING PLAN - UNDERSTORY	●
L-7.00	PAVING DETAILS	●
L-7.10	MASONRY - WALLS	●
L-7.11	MASONRY - STEPS	●
L-7.20	CARPENTRY	●
L-8.00	PLANTING DETAILS	●

PROJECT TEAM:

LANDSCAPE ARCHITECT:

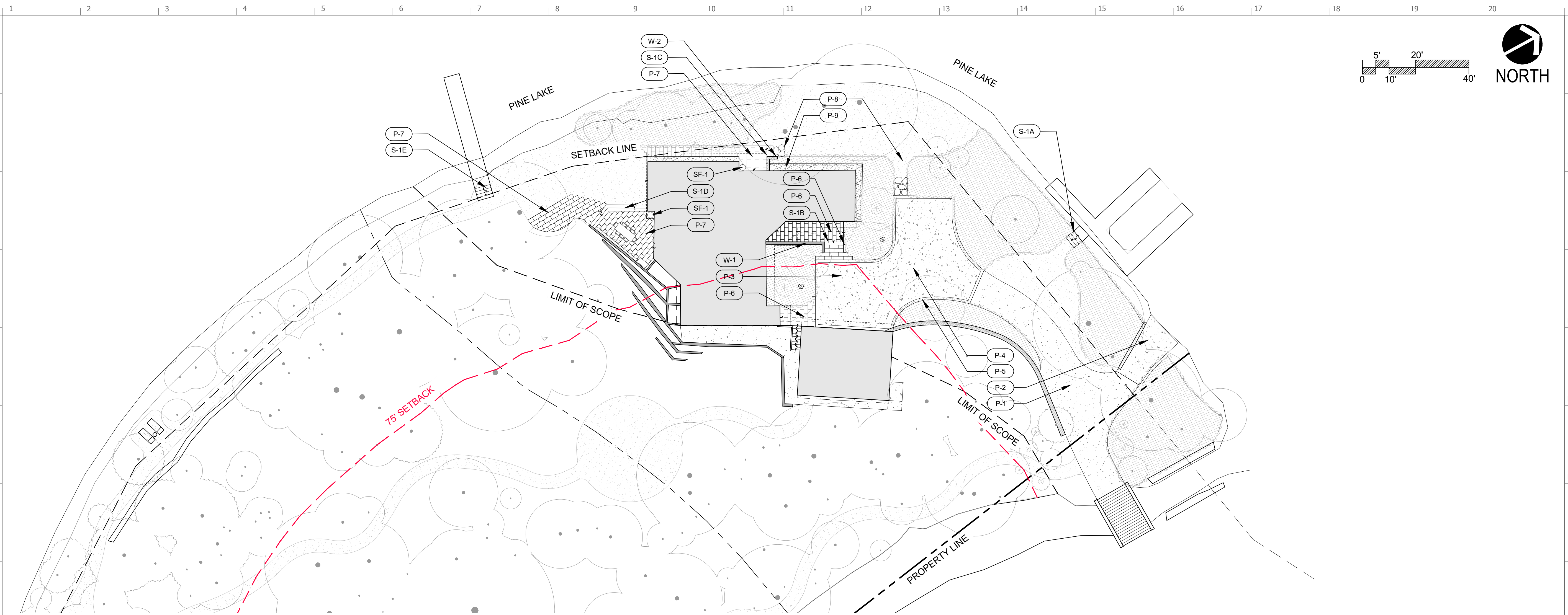
HOERR SCHAUDT
1555 WEST FULTON STREET
CHICAGO, IL 60607

CONTACT:

JIM NAVRATIL
(312) 414-1838
JNAVRATIL@HOERRSCHAUDT.COM

BINDING EDGE

BINDING EDGE



HOERR SCHAUDT
 1555 West Fulton Street
 Chicago, Illinois 60607
 Tel: 312.492.6501
 Fax: 312.492.7101

PROJECT
Private Residence
 5721 WI-83,
 HARTLAND WI 53029

CLIENT
 PRIVATE RESIDENCE

CONSULTANTS
 ARCHITECT:

GENERAL CONTRACTOR:

CIVIL ENGINEER:

MATERIALS SCHEDULE

PAVING

CODE	NAME	USE / AREA	DETAIL	SIZE	COLOR / TYPE / FINISH	MANUFACTURER	MANUFACTURER	NOTES
P-1	ASPHALT DRIVE	DRIVE	-	REFER TO PLAN AND DETAILS	-	--	SAMPLE	CONTRACTOR TO PROVIDE SPECIFICATION SUBMITTAL FOR APPROVAL PRIOR TO PROCUREMENT.
PP-2	EXPOSED AGGREGATE CONCRETE	DRIVE	-	REFER TO PLAN AND DETAILS	3/4" LOCAL PEA GRAVEL EXPOSED AGGREGATE FINISH	--	SAMPLE	CONTRACTOR TO PROVIDE SHOP DRAWINGS OF POOL SHELL MECHANICALS AND COPING FOR APPROVAL PRIOR TO PROCUREMENT.
PP-3	GRANITE COBBLE BANDING AT CONCRETE DRIVE	DRIVE	-	5" X 5" X 9" SEE DETAIL	LURVEY STONE, TUMBLER GREY GRANITE COBBLE	LURVEY	SAMPLE	CONTRACTOR TO PROVIDE SPECIFICATION SUBMITTAL FOR APPROVAL PRIOR TO PROCUREMENT.
PP-4	GRANITE PAVER	SIDE OF HOUSE, REAR TERRACE	-	1" X 12" X 24"	LURVEY STONE, THERMAL, SAWN BOTTOM, CASTLE GREY	LURVEY		CONTRACTOR TO PROVIDE SPECIFICATION SUBMITTAL FOR APPROVAL PRIOR TO PROCUREMENT.
PP-5	FOND DU LAC STONE STEPPER	OFF DRIVE, SIDE OF HOUSE	-	--	--	--		CONTRACTOR TO PROVIDE SPECIFICATION SUBMITTAL FOR APPROVAL PRIOR TO PROCUREMENT.
PP-6	GRAVEL MAINTENANCE STRIP	ADJACENT TO HOUSE	-	--	LOCAL PEA GRAVEL	--		CONTRACTOR TO PROVIDE SPECIFICATION SUBMITTAL FOR APPROVAL PRIOR TO PROCUREMENT.

STAIRS

CODE	NAME	USE / AREA	DETAIL	SIZE	COLOR / TYPE / FINISH	MANUFACTURER	MOCK UP	NOTES

S-1	STONE SLAB STEP	ENTRY, ADJACENT TO DOCKS, REAR TERRACE, SIDE OF HOUSE		7" X 18" X 48"	EDEN SNAPPED, ROCK FACED, TOP NATURAL	LURVEY	NO	CONTRACTOR TO PROVIDE SPECIFICATION SUBMITTAL FOR APPROVAL PRIOR TO PROCUREMENT.
-----	-----------------	---	--	----------------	---------------------------------------	--------	----	--

WALLS & CURBS

CODE	NAME	USE / AREA	DETAIL	SIZE	COLOR / TYPE / FINISH	MANUFACTURER	MOCK UP	NOTES
W-1	BOARD FORM CONCRETE WALL	ENTRY		REFER TO PLAN AND DETAILS	BOARD FORM CONCRETE TO MATCH		NO	SEE ARCHITECTURE PACKAGE FOR APPLIANCE LIST
W-2	DRY STACKED FOND DU LAC WALL	SIDE OF HOUSE		REFER TO PLAN AND DETAILS	FOND DU LAC DRY STACKED WALL		YES	CONTRACTOR TO PROVIDE SPECIFICATION SUBMITTAL FOR APPROVAL PRIOR TO PROCUREMENT
W-3	TIMBER RETAINING WALL	REAR TERRACE, ADJACENT TO SPA		REFER TO PLAN AND DETAILS, 2'-6" MAX HEIGHT	TIMBER TO MATCH EXISTING TIMBER RETAINING WALLS	--	YES	CONTRACTOR TO PROVIDE SPECIFICATION SUBMITTAL FOR APPROVAL PRIOR TO PROCUREMENT
W-4	STONE SLAB CURB	ENTRY		7" X 18" X 48"	EDEN SNAPPED, ROCK FACED, TOP NATURAL	--	NO	CONTRACTOR TO PROVIDE SPECIFICATION SUBMITTAL FOR APPROVAL PRIOR TO PROCUREMENT

SITE FURNISHINGS

CODE	NAME	USE / AREA	DETAIL	SIZE	COLOR / TYPE / FINISH	MANUFACTURER	MOCK UP	NOTES
SF-1	PLANTERS	SIDE OF HOUSE, REAR TERRACE	-	--	--	--	YES / NO	CONTRACTOR TO PROVIDE SPECIFICATION SUBMITTAL FOR APPROVAL PRIOR TO PROCUREMENT.

SEAL

ISSUED FOR

PERMIT

DRAWN	WK
CHECKED	JN
REVISIONS	

12/02/24	PERMIT REVISION	
09/12/24	ISSUE FOR PERMIT	
06/28/24	ISSUE FOR BID	
NO	DATE	ISSUE

SHEET

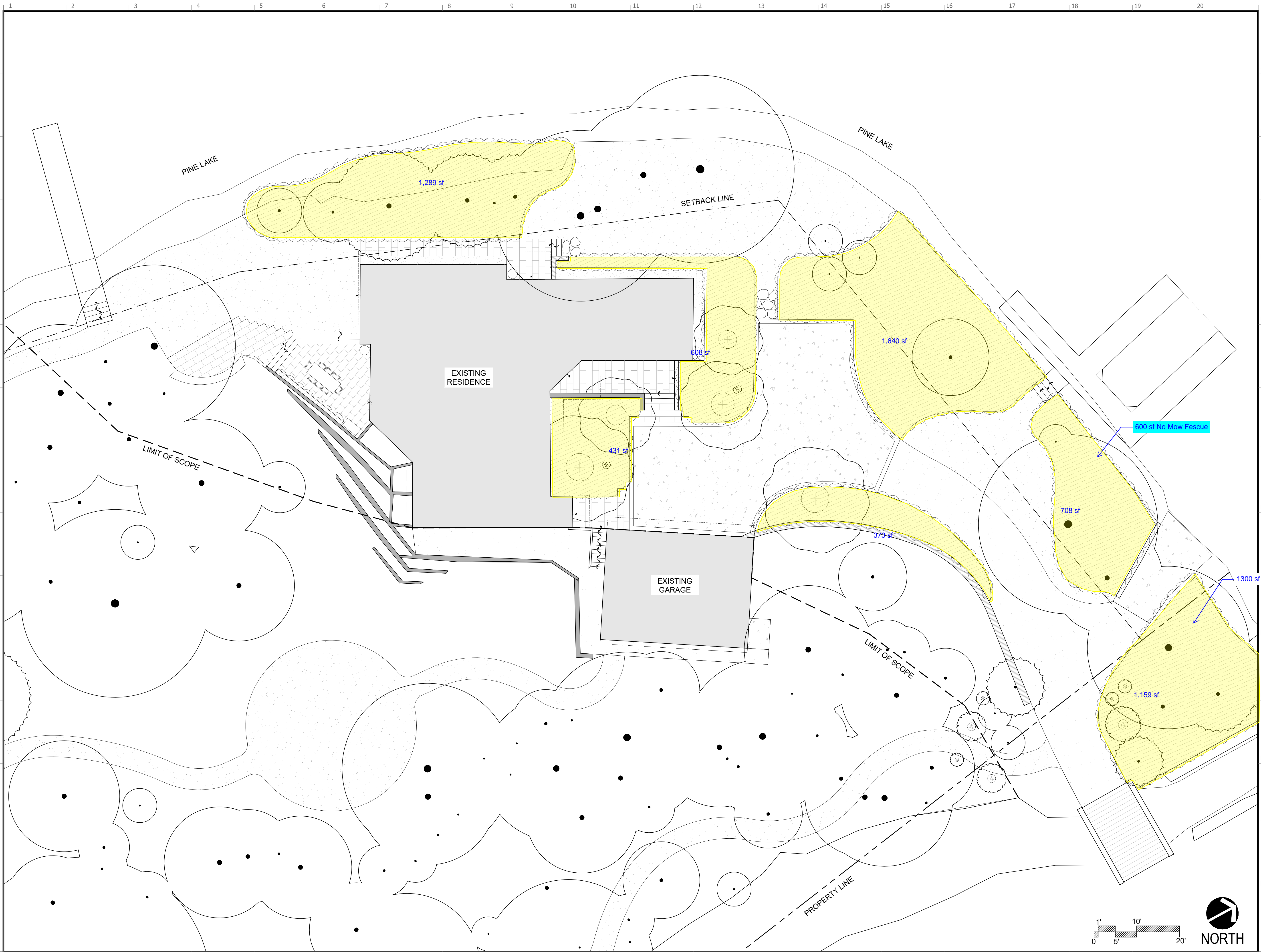
MATERIALS PLAN

L-4.00

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BINDING EDGE

BINDING EDGE



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PROJECT
Private Residence
 5721 WI-83,
 HARTLAND WI 53029

CLIENT
 PRIVATE RESIDENCE

CONSULTANTS
 ARCHITECT:

GENERAL CONTRACTOR:

CIVIL ENGINEER:

SEAL

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REVISIONS	

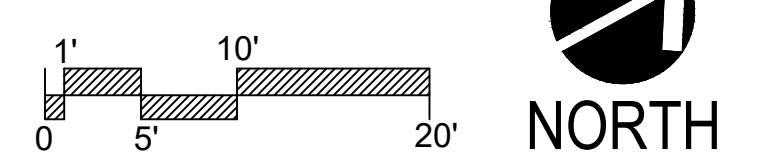
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SHEET

OVERALL PLANTING
 PLAN - UNDERSTORY

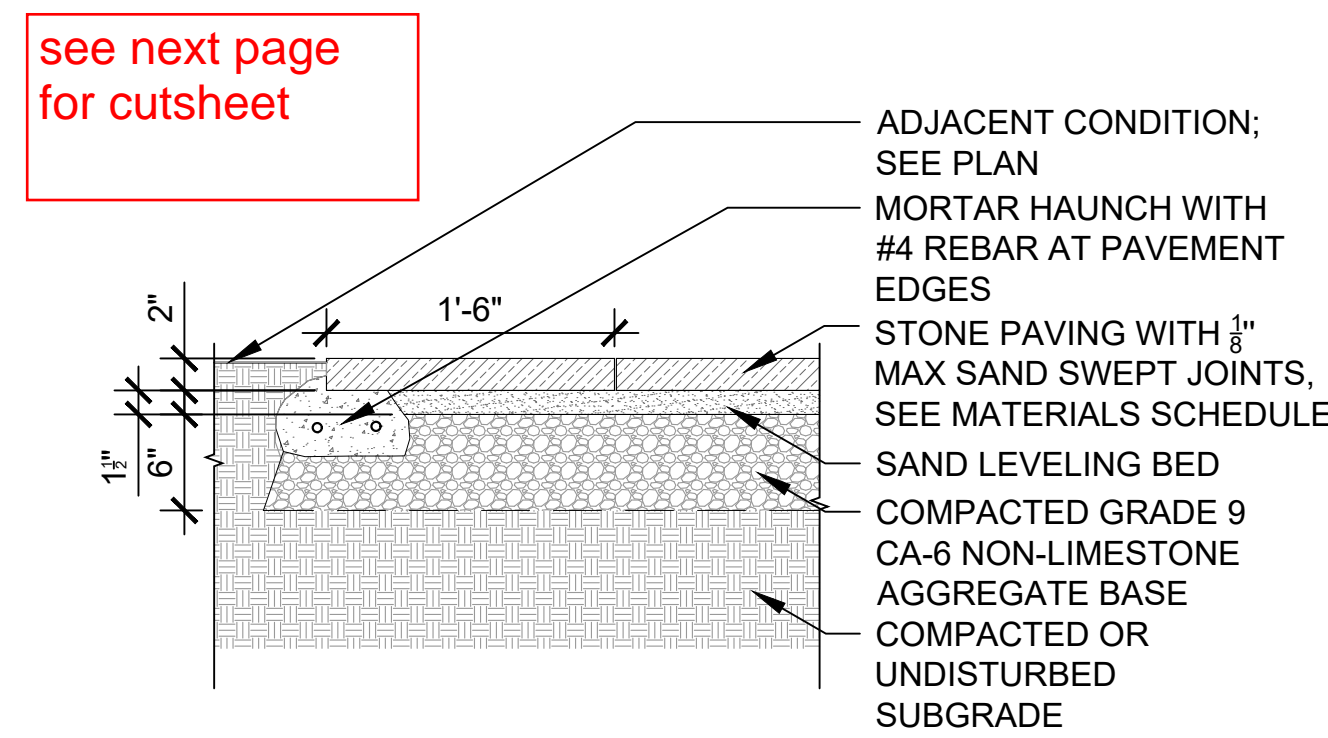
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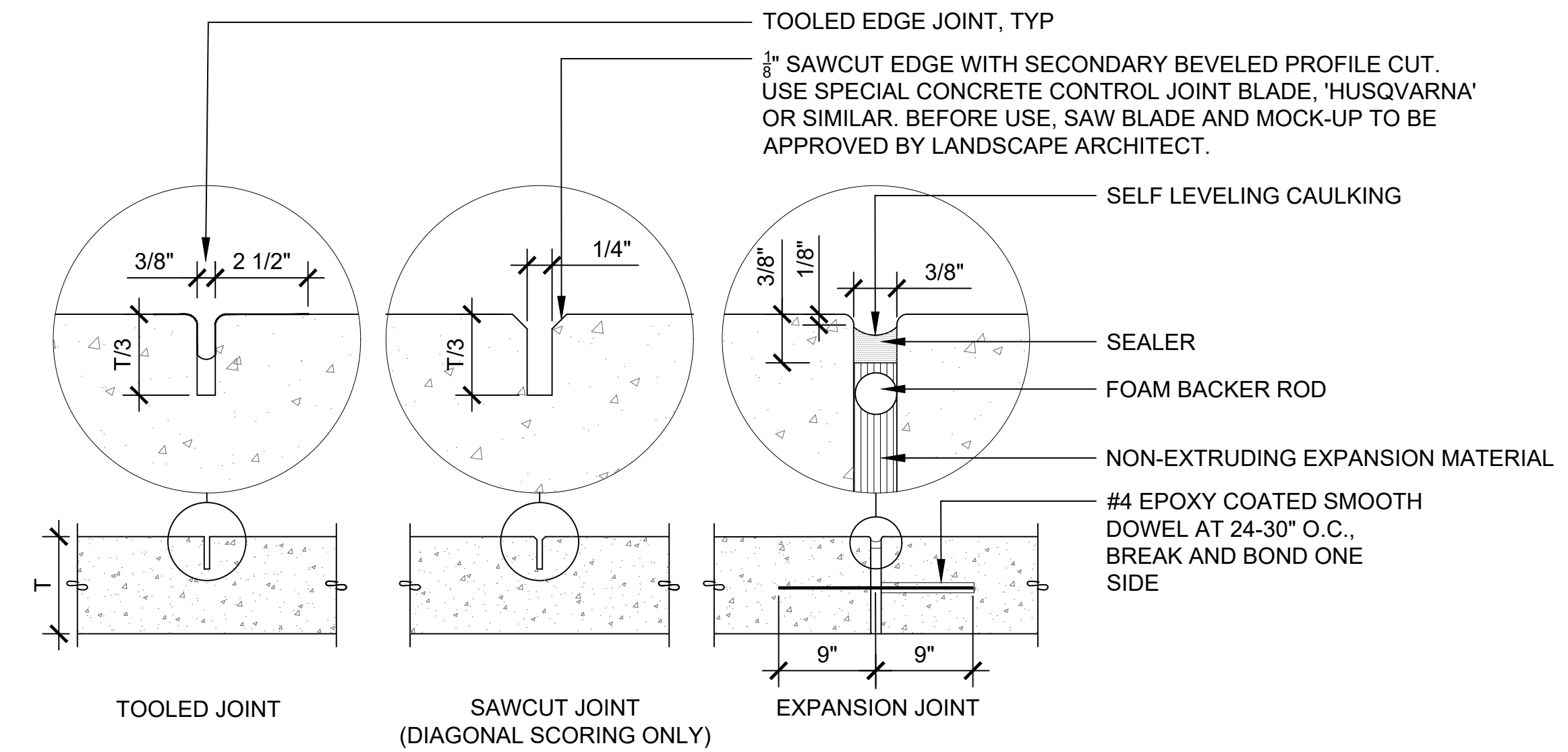


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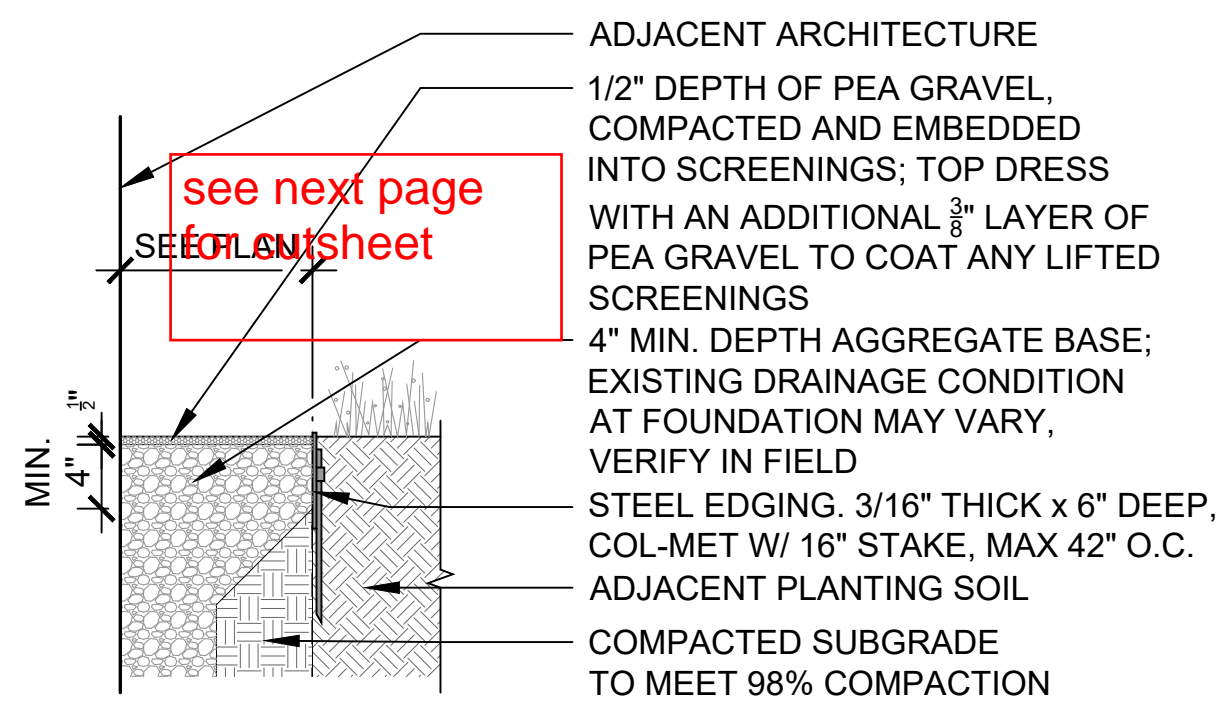


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F P-4 GRANITE PAVERS
1" = 1'-0"

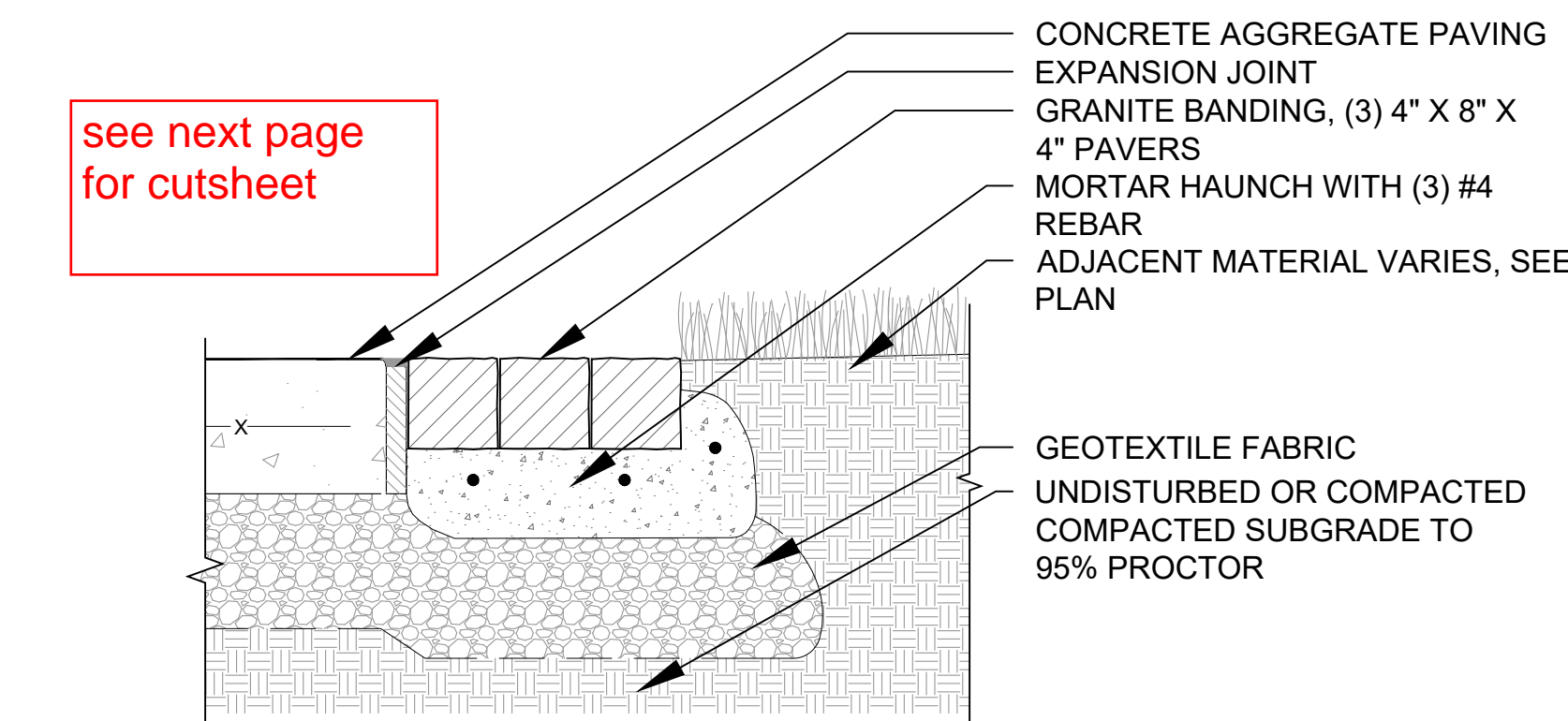
C P-2 CONCRETE JOINTING
1" = 1'-0"



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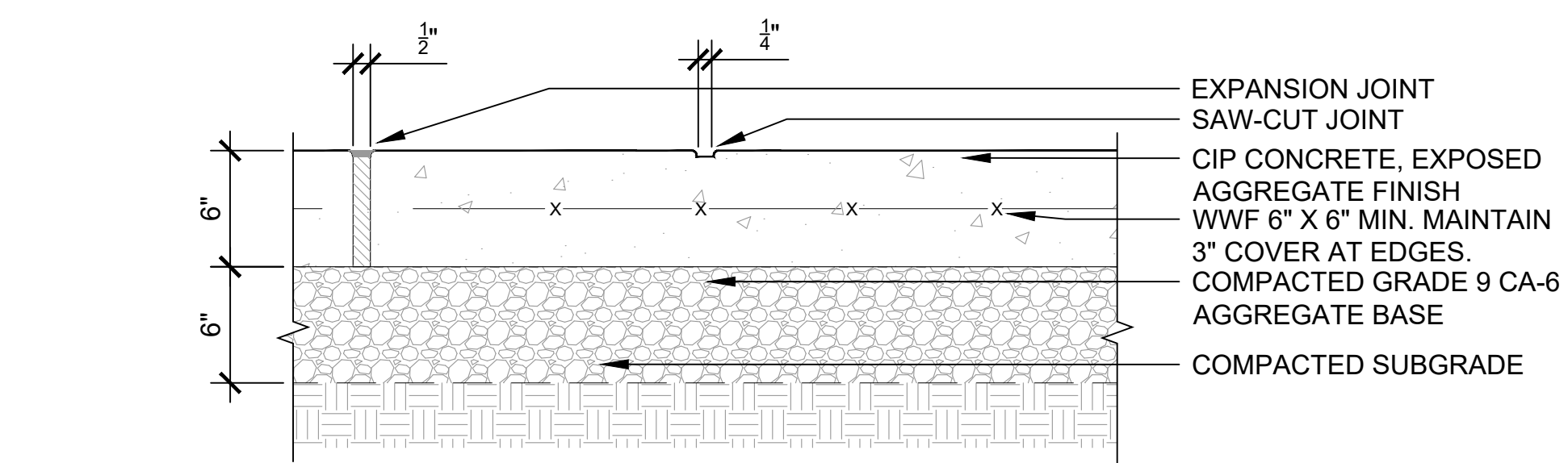
- NOTES
- CONTRACTOR TO PROVIDE SAMPLE FOR CLIENT AND/OR LANDSCAPE ARCHITECT APPROVAL
 - WHEN NEXT TO WINDOWS, SUBSTITUTE 4" AGGREGATE FINES WITH 3/8" PEA GRAVEL
 - LIGHTLY SPRAY WATER OVER SURFACE UPON COMPLETION TO REMOVE DUST

H P-6 GRAVEL MAINTENANCE STRIP
1" = 1'-0"



see next page for cutsheet

E P-3 GRANITE COBBLE BANDING AT PLANTING
1 1/2" = 1'-0"



B P-2 EXPOSED AGGREGATE CONCRETE
1 1/2" = 1'-0"

SEAL

ISSUED FOR
PERMIT

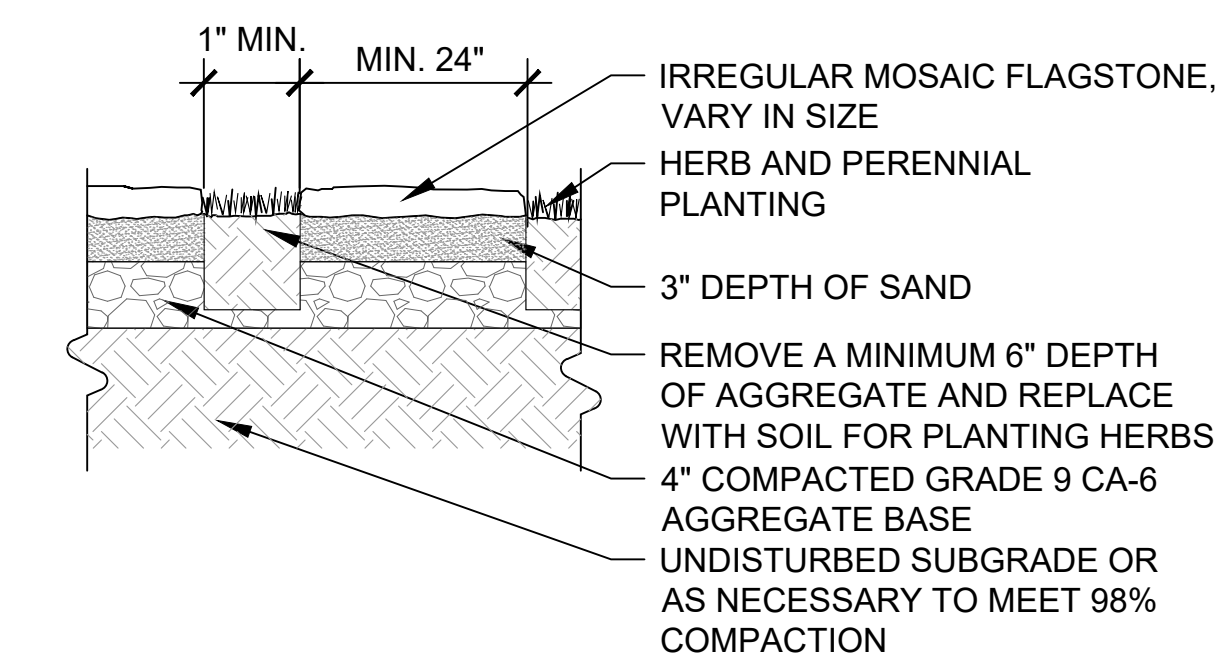
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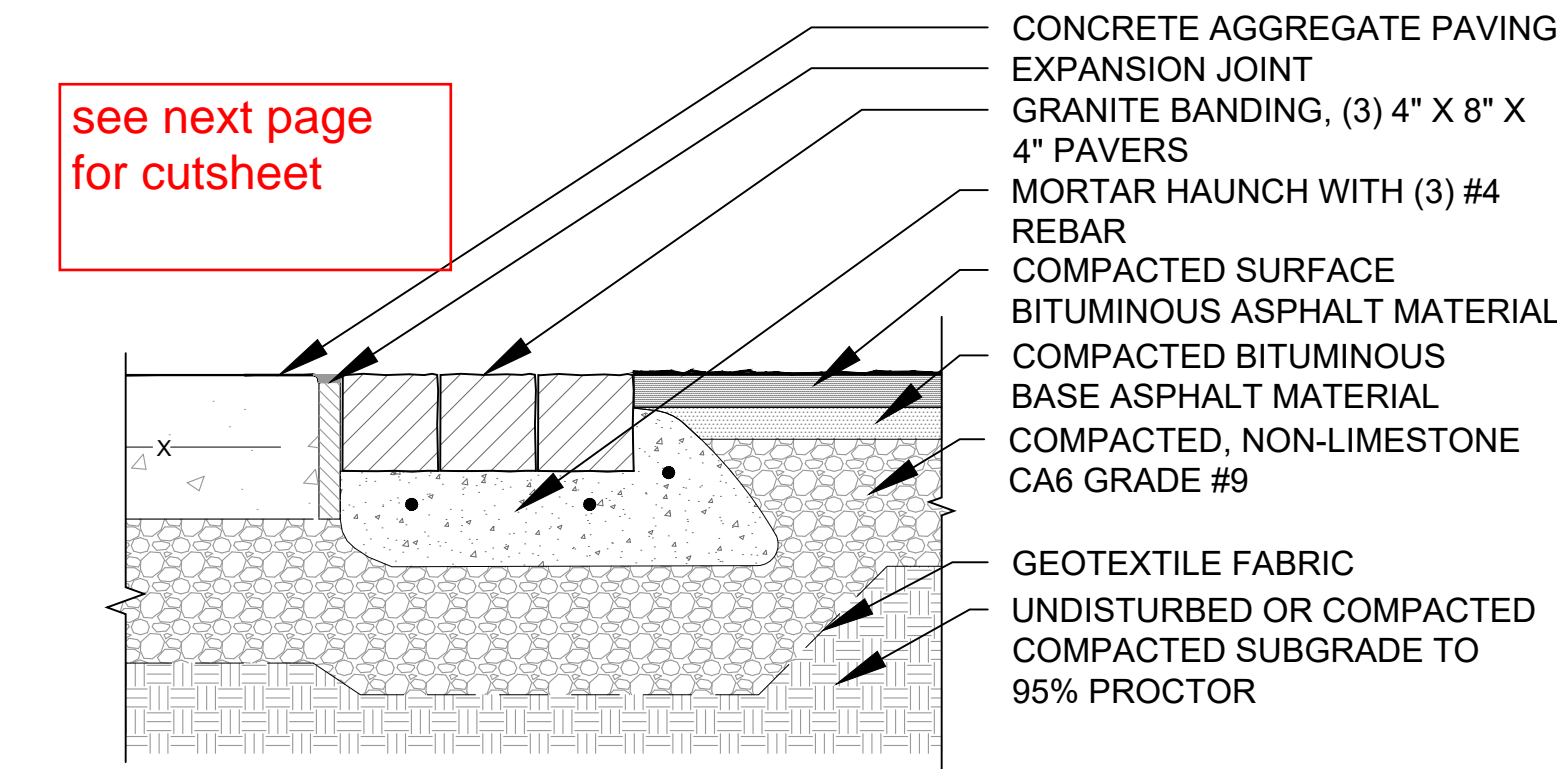
PAVING DETAILS

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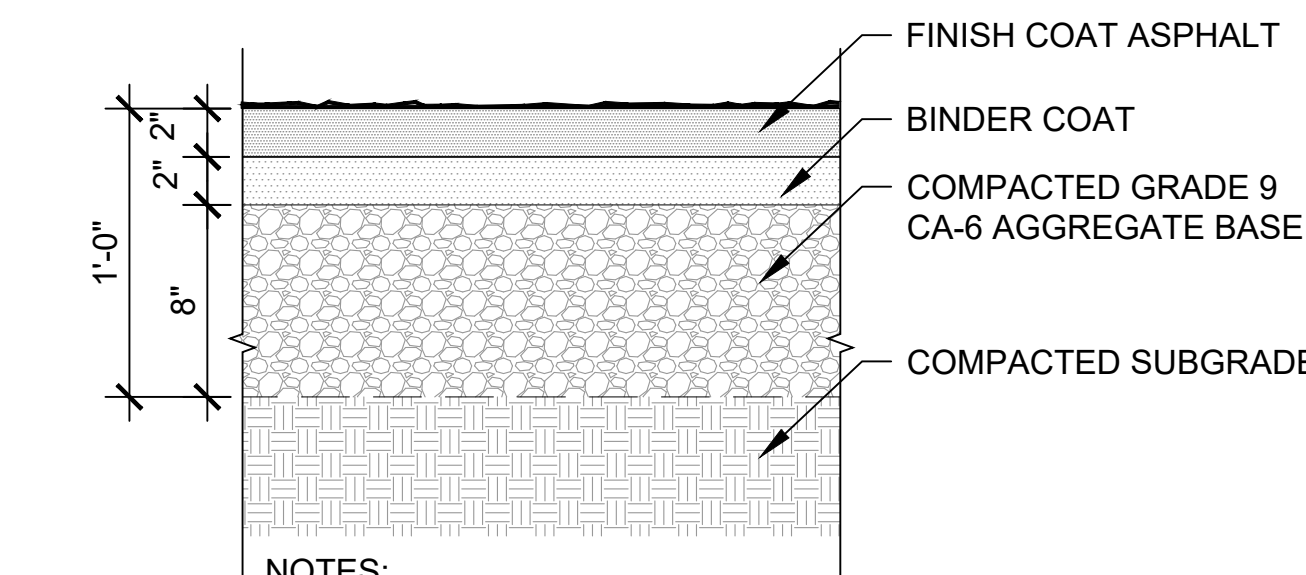


G P-5 FOND DU LAC STONE STEPPER
1" = 1'-0"



see next page for cutsheet

D P-3 GRANITE COBBLE BANDING AT CONCRETE DRIVE
1 1/2" = 1'-0"



- NOTES:
- KEEP BASE AND RESURFACE TOP LAYER OF ASPHALT WHERE POSSIBLE

A P-1A ASPHALT DRIVE
1 1/2" = 1'-0"

BINDING EDGE

BINDING EDGE

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20

HOERR SCHAUDT
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Chicago, Illinois 60607
Tel: 312.492.6501
Fax: 312.492.7101

PROJECT
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5721 WI-83,
HARTLAND WI 53029

CLIENT
PRIVATE RESIDENCE

CONSULTANTS
ARCHITECT:

GENERAL CONTRACTOR:

CIVIL ENGINEER:

NOTES

EVERGREEN & DECIDUOUS TREES

- AFTER FINAL APPROVAL OF TREE LOCATION, ROPES AT TOP OF ROOTBALL SHALL BE CUT; REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL. WIRE CAGE TO BE CUT BACK A MINIMUM OF 12" BELOW FINISH GRADE. ALL NON-BIODEGRADABLE MATERIAL SHOULD BE REMOVED.
- TREES SHALL BEAR SAME RELATION TO FINISHED GRADE AS THEY DID TO PREVIOUSLY EXISTING GRADE ON SITE OR IN NURSERY.
- DO NOT ALLOW AIR POCKETS TO FORM IN SOIL WHEN BACKFILLING.
- TREE STAKING/GUYING SHOULD BE REVIEWED WITH LANDSCAPE ARCHITECT WHEN CONTRACTOR DEEMS IT NECESSARY.
- ROOT FLARE OF TREE TO BE SET NO MORE THAN 3" ABOVE FINISHED GRADE IN BORDERS & MASS PLANTINGS.
- TREES PLANTED WITHIN OR ADJACENT TO PAVING SHALL BE PLANTED WITH ROOT FLARE NO MORE THAN 1" ABOVE ADJACENT GRADE.
- EVERGREEN TREES WITH TIGHTLY SHEARED FORM WILL BE REJECTED.
- IF PITS ARE MACHINE EXCAVATED, & GLAZING IS PRONOUNCED, ALL SIDES OF PIT ARE TO BE SCARIFIED.
- SOAK PLANTS WITH WATER IMMEDIATELY AFTER INSTALLATION.

SHRUBS

- DO NOT ALLOW AIR POCKETS TO FORM IN SOIL WHILE BACKFILLING.
- SOAK PLANTS WITH WATER IMMEDIATELY AFTER INSTALLATION.
- DO NOT BREAK ROOTBALL.
- IF B&B MATERIAL, REMOVE BURLAP & STRING FROM AROUND TOP 1/3 OF ROOTBALL. IF CONTAINERIZED, LOOSEN ROOT MASS SIGNIFICANTLY BY HAND OR CUT ROOT MASS VERTICALLY WITH KNIFE ON 4 SIDES TO A DEPTH OF 1" & CUT BOTTOM OF ROOT MASS IN SAME MANNER IN AN 'X' PATTERN.

PERENNIALS & GROUNDCOVER

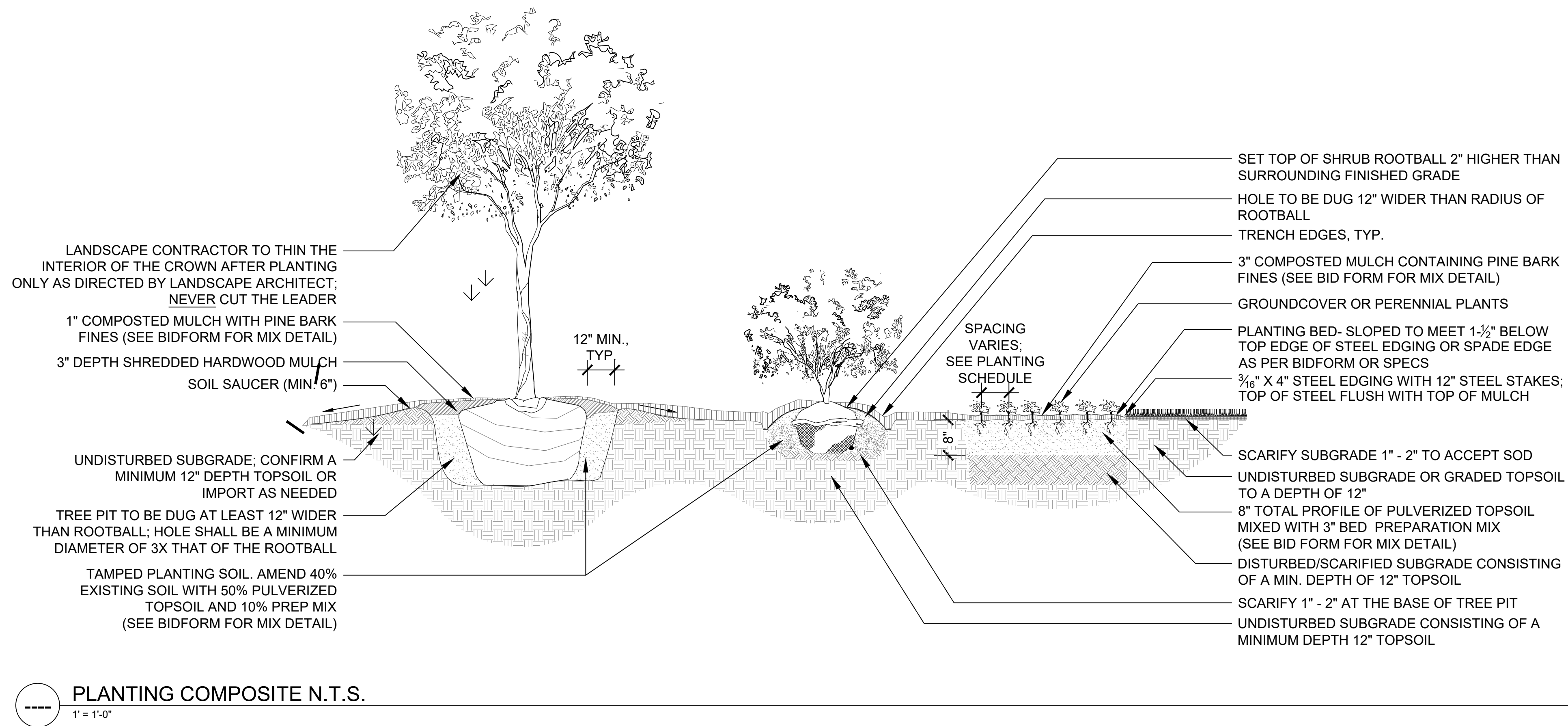
- DO NOT ALLOW AIR POCKETS TO FORM IN SOIL WHILE BACKFILLING.
- SOAK PLANTS IMMEDIATELY WITH WATER AFTER INSTALLATION.
- LOOSEN ROOT MASS SIGNIFICANTLY BY HAND OR CUT ROOT MASS VERTICALLY WITH KNIFE ON 4 SIDES TO A DEPTH OF 1" & CUT BOTTOM OF ROOT MASS IN SAME MANNER IN AN 'X' PATTERN.
- PLANT APPROXIMATELY 1" ABOVE PLANTING MEDIA TO ALLOW FOR TYPICAL DRESSING OF MULCH.
- SOAK PLANTS WITH WATER IMMEDIATELY AFTER INSTALLATION.

SOD

- SOD TO BE BLUEGRASS BLEND OF LOCAL ORIGIN PROVIDING EXCELLENT HARDINESS, COLOR & DISEASE RESISTANCE.
- SOD IS TO BE CUT WITH A MINIMUM OF 1" OF SOIL UNLESS THE BIDFORM OR SPECIFICATIONS NOTE OTHERWISE.
- DO NOT ALLOW SOD TO REMAIN ROLLED UP FOR LONGER THAN 15 HOURS AFTER HARVESTING.
- LANDSCAPE ARCHITECT TO APPROVE FINAL GRADE PRIOR TO INSTALLATION OF SOD.
- SCARIFY SUBGRADE 1/2"-1" TO ACCEPT SOD.
- LAWN TO MEET ADJACENT HARDSCAPES WITH THATCH LAYER FLUSH TO TOP OF HARDSCAPE MATERIAL.
- ROLL SOD WITH AN APPROPRIATELY SIZED ROLLER AFTER THE SOD IS LAID TO PROVIDE PROPER SOD TO SOIL INTERFACE.
- SOAK SOD WITH WATER IMMEDIATELY AFTER INSTALLATION.

EDGING

- BED EDGES THAT MEET LAWN TO BE SPADE EDGED BY HAND OR STEEL EDGE AS PER BIDFORM OR SPECIFICATIONS.
- BOTTOM OF SPADE EDGE TO BE 1"-1.5" BELOW THATCH.



SEAL

ISSUED FOR
PERMIT

DRAWN	WK
CHECKED	JN
REVISIONS	

NO	DATE	ISSUE
	09/12/24	ISSUE FOR PERMIT
	06/28/24	ISSUE FOR BID

PLANTING DETAILS

L-8.00

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STAFF REVIEW

Date: December 4th, 2024

Meeting Date & Time: Monday, December 9th at 6:00 P.M.

To: Plan Commission, Village of Chenequa

From: Planning Department

Subject: Site Plan Review

Owner: Kent and Renee Haefs

Location: 4779 N Pine Meads Lane

Project Description: Proposed modification to previously approved plan

Zoning District: Residence District - Lot Abutting a Lake

Dear Plan Commission and Village Board,

In March of 2023, Kent and Renee Haefs received approval from the Village board for the construction of a primary residence at 4779 N Pine Meadows Lane. Included with the house plans were the grading plans that were also approved. Recent grading on the property has deviated from the previously approved grading plan. As a result, the applicant is resubmitting a grading plan that reflects the grading work that was completed on the property.

Portions of the grading activity involved the partial filling of a depression in front of the house. This land disturbance activity has resulted in ponding after heavy rain events. If ponding persists after the site has been seeded it is the Villages recommendation to install a stone catch basin or French drain in the bottom of the kettle to help improve stormwater infiltration.

In addition to the updated grading plan, the applicant is also seeking permission to install a concrete patio that is 18' X 50' (Approximately 900 square feet). This patio is 150'+ from the ordinary high-water mark of Pine Lake.

A copy of what was previously approved and what requires approval has been included in the packet.

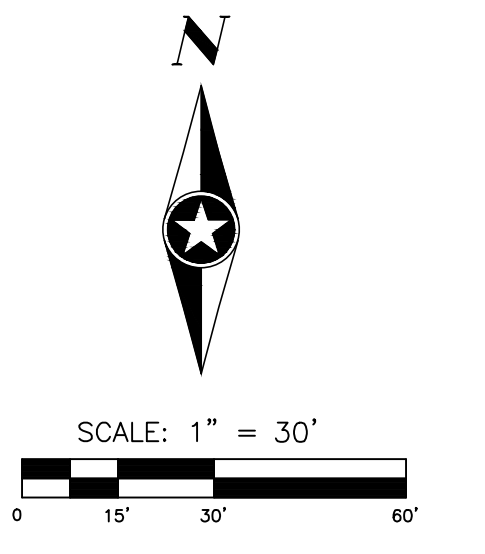
Regards,

Cody Lincoln, Zoning Administrator

Dan Neumer, Administrator
Deanna Braunschweig, Clerk
Paul Launer, Lake Country Inspections
Kent and Renee Haefs, Owner

EXHIBIT

BEING ALL OF LOT 1 OF CSM 5385
 LOCATED IN THE NE 1/4 OF SEC. 27 T.08N., R.18E.,
 IN THE TOWN OF MERTON, WAUKESHA COUNTY, WISCONSIN

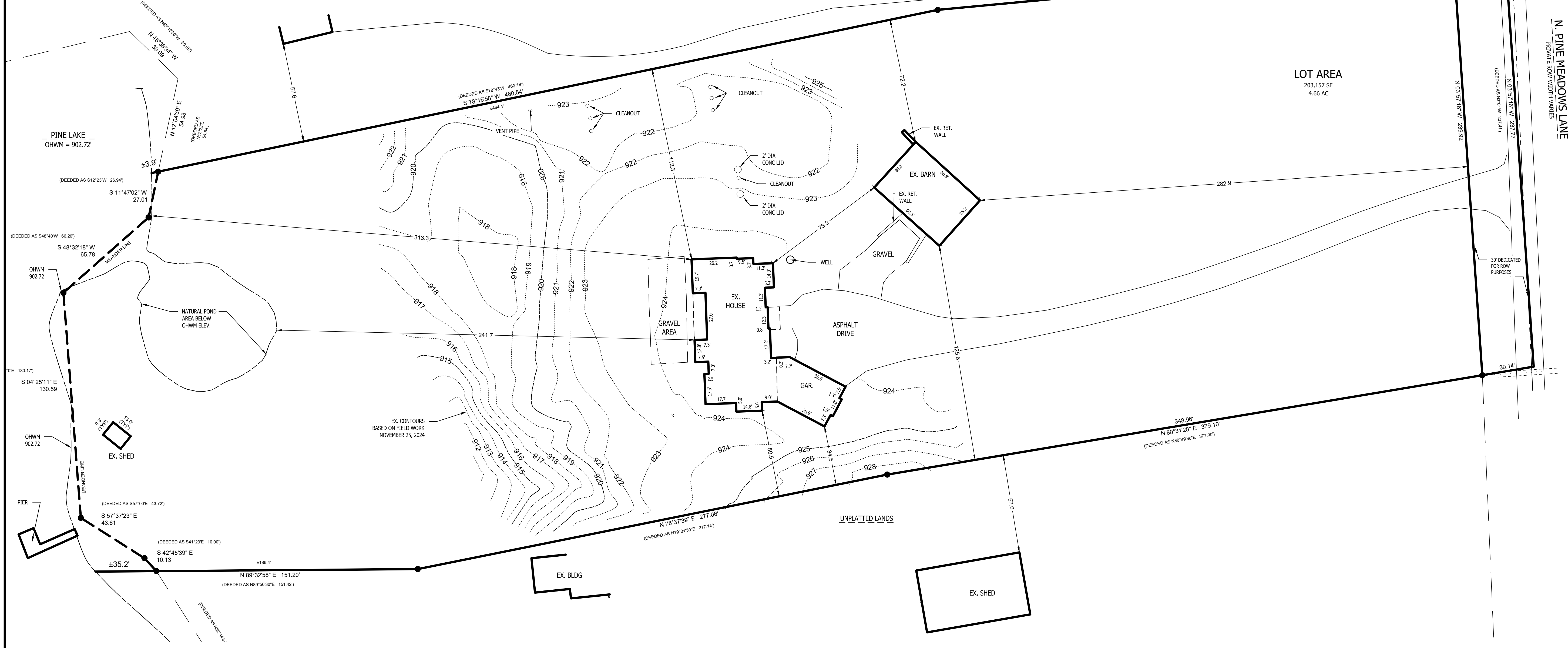


BEARINGS ARE REFERENCED TO THE
 NORTH LINE OF THE NW 1/4, SEC 4-7-18 AT N89°44'58"E.
 SEWRPC NAD83. VERTICAL DATUM NAVD 88.

SURVEY FOR:
 KENT HAEFS
 4779 PINE MEADOWS DRIVE
 VILLAGE OF CHENEQUA
 WAUKESHA COUNTY, WI

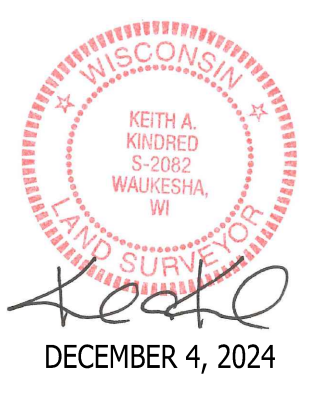
PROPERTY ADDRESS
 4779 PINE MEADOWS DRIVE
 VILLAGE OF CHENEQUA
 WAUKESHA COUNTY, WI

SURVEYOR:
 KEITH A. KINDRED, PLS S-2082
 SEH, INC.
 501 MAPLE AVE
 DELAFIELD, WI 53018
 (262) 370-0165 cell
 KKINDRED@SEHINC.COM



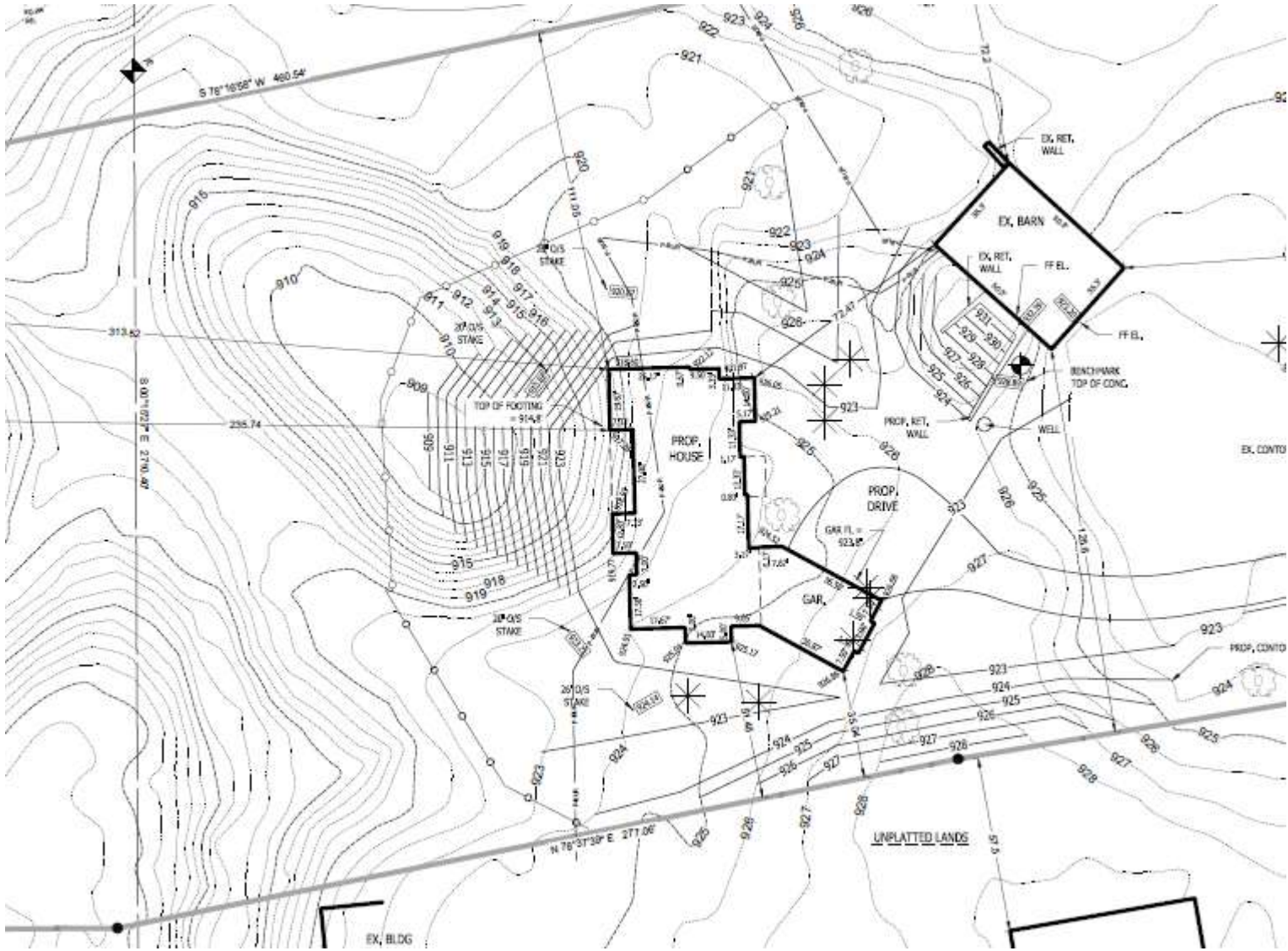
LEGEND

● - 1" IRON PIPE FOUND (UNLESS OTHERWISE STATED)

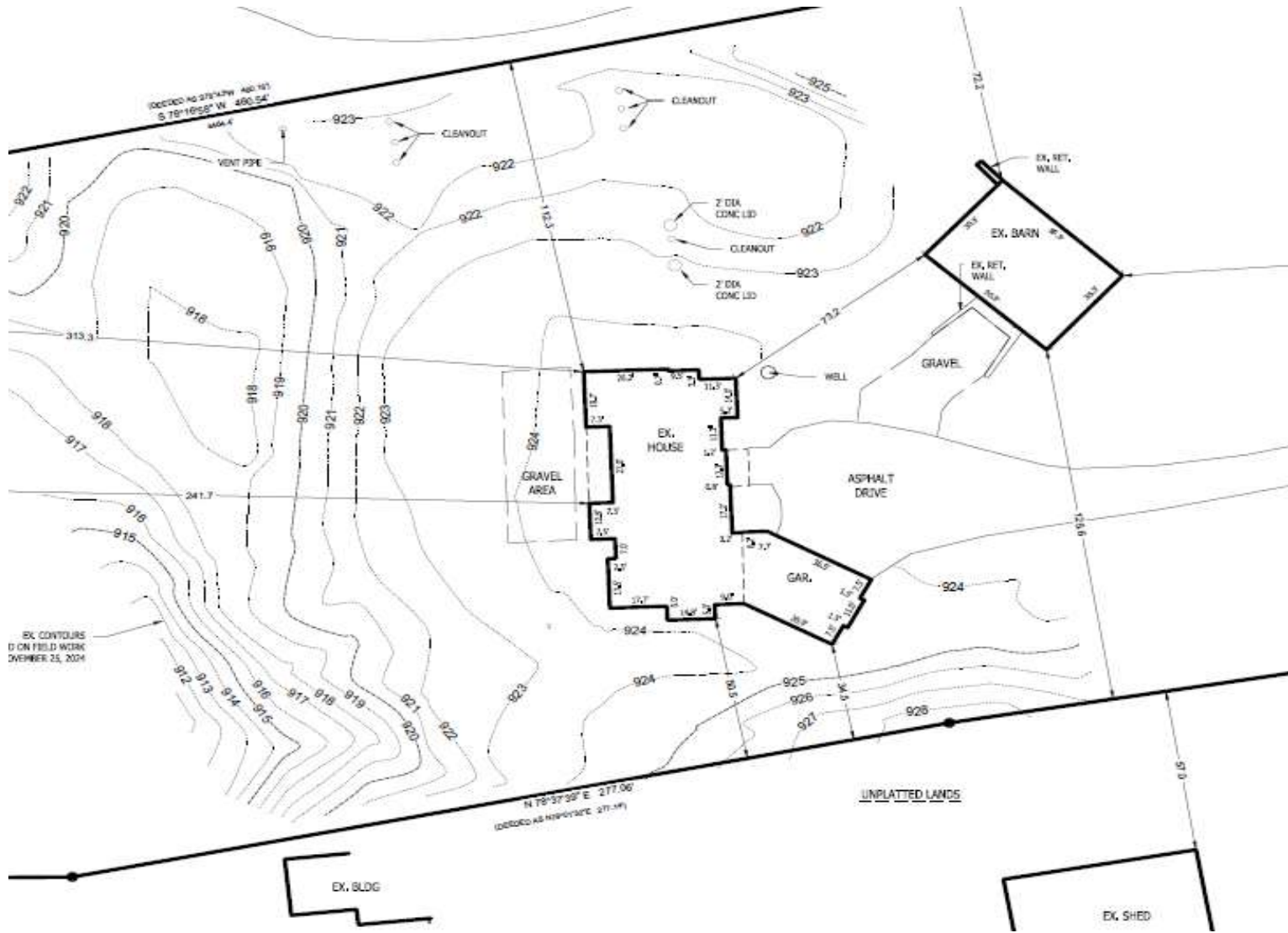


NOTE: THIS EXHIBIT WAS PREPARED
 TO SHOW THE EXISTING CONDITIONS
 TO THE GRADING

Previously Approved Grading Plan



Updated Grading Plan to Reflect Recent Grading Activities



**Village of Chenequa
ORDINANCE NO. 2024 – 12-09-01**

**AN ORDINANCE CREATING SECTION 6.5(6) OF THE CHENEQUA VILLAGE CODE
CREATING REQUIREMENTS FOR ACCESSORY BUILDINGS AND STRUCTURES
AND AMENDING AND RESTATING SECTION 6.3 OF THE CHENEQUA VILLAGE
CODE TO CREATE AND AMEND CERTAIN DEFINITIONS**

WHEREAS, the Village Board finds and determines that the establishment of ordinance provisions regulating the construction of accessory buildings and structures is necessary and appropriate to further the public health, safety and welfare, to protect the ecology of the Village, and to preserve the rustic character of the Village; and

WHEREAS, the Village Board further finds and determines that it is necessary and appropriate to amend and restate Section 6.3 to amend the definitions for “Accessory Building” and “Building” and to create definitions for “Accessory Shed”, “Buffer” and “Landscape Materials” in the forms set forth on Exhibit A.

NOW THEREFORE, BE IT ORDAINED, that Section 6.5(6) of the Village Code is hereby created as follows:

“6.5

(6) Accessory Building and Structure Requirements

(a) Lot Abutting Lake – Location.

(i) No accessory building shall be erected, modified or moved on any lot abutting a lake so that it is located between the shoreline buffer zone and the nearest point of the principal structure or any projection thereof, except that:

A. An accessory building may be erected, modified or moved on any lot abutting a lake between the shoreline buffer zone and the nearest point of the principal structure or any projection thereof if the nearest point of such accessory building is at least _____ () feet beyond the shoreline buffer zone.

(b) Lot Abutting Lake – All Other Structures – Location.

(i) Accessory structures which are not accessory buildings and accessory sheds may be erected, modified or moved on any lot abutting a lake at any location meeting applicable setback requirements; including, between the shoreline buffer zone and the nearest point of the principal structure or any projection thereof;

provided, however, that accessory sheds between the shoreline buffer zone and the nearest point of any principal structure or projection thereof shall be buffered with landscape materials so that no more than _____ () percent of the lake elevation of the accessory shed is visible from the lake.

(c) Lot Not Abutting Lake.

- (i) No accessory building shall be erected, modified or moved on any lot not abutting a lake so that any point of the accessory building or any projection thereof is closer to the right-of-way or boundary line of any public street wall of the principal structure.

(d) Accessory Buildings – Maximum Footprint.

- (i) The maximum footprint of all accessory buildings erected, modified or moved on any lot shall not exceed one half of one (.5) percent of the total lot area.

(e) Accessory Buildings – Maximum Number.

<u>Lot Area</u>	<u>Number of Accessory Buildings</u>
2.5 acres or less	1
2.5 but less than 7 acres	2
7 acres or more	3

(f) Appeals.

- (i) Appeals from any decision of the Village Administrator or Village Zoning Administrator may be taken to the Board of Appeals by any person aggrieved, or by an officer, department or bureau of the Village under Section 6.13 of the Village Code. Notwithstanding the foregoing, an application to construct an accessory building or an accessory structure outside of the shoreline buffer zone but at a location not permitted by this section shall be considered by the Village Board using the standards, requirements and procedures under Section 6.20 of the Village Code applicable to Conditional Uses.”

AND, BE IT FURTHER ORDAINED, that the new and revised definitions set forth on Exhibit A are hereby approved and adopted and that the Village Clerk is hereby authorized and directed to insert such new and revised definitions into the appropriate positions in Section 6.3 of the Village Code.

Adopted this ____ day of _____, 2024

VILLAGE OF CHENEQUA

BY: _____
Jo Ann Villavicencio
Village President

ATTEST:

Deanna Braunschweig
Village Clerk - Treasurer

Date Adopted:
Date Posted:
Effective Date:

EXHIBIT A

Definitions: (New and Revised)

Accessory Building: A fully enclosed accessory structure having a roof and walls.

Accessory Shed: An accessory building of not more than one hundred (100) square feet in floor area and not more than twelve (12) feet in height, without plumbing other than a single hose bibb.

Building: A fully enclosed structure having a roof and walls.

Buffer: A setback or open space with a fence, wall or landscaping that provides a visual barrier between uses, lots or parcels.

Landscape Materials: Living trees, shrubs, ground cover and other similar natural and decorative features but not including fences or walls.