



AGENDA

Village of Chenequa Plan Commission
Monday, October 14, 2024 at 6:00 p.m.
31275 W. County Road K, Chenequa, WI 53029

This is official notice that a meeting of the Plan Commission for the Village of Chenequa will be held at 6:00 p.m. on Monday, October 14, 2024, in the Village Board Room and via Zoom Communications. The following matters will be discussed, with possible actions:

Call to Order

Pledge of Allegiance

1. Public comment period: *Public comments on any subject without any action, except possible referral to a governmental body or staff member.*
2. Approval of minutes from the Plan Commission meeting held on September 9, 2024.
3. Review and Consider action on proposed accessory structure at 5961 N Cedarhurst Lane, Natalie Rix and John Fritzke. (Tax Key No. 399-996).
4. Review and Consider action on proposed addition/remodel of an existing dwelling at 5964 N Oakland Rd, Dan and Carol Geenen. (Tax Key No. 403-977-002).
5. Review and Consider action on proposed .15-acre pond at 6200 N Oakland Road, Sam Ristich. (Tax Key No. 402-993).
6. Review and consider action on proposed 160 square foot shed at 6075 N Oakland Hills Road, Thomas VanHeule, (Tax Key No. 402-986).
7. Review and consider action on proposed exterior modifications to a previously approved addition/remodel at 5777 N State Road 83 submitted by John and JoJo Neumann. (Tax Key No. 399-994).
8. Review and consider action on Certified Survey Map to divide a 16.6 acre parcel into a 4 acre parcel and a 10.6 acre parcel for Kettle Moraine United Presbyterian Church N66W32690 CTH K, Hartland, WI. (Tax Key No. MRTT0366-978. Extraterritorial Jurisdiction).
9. Review and consider action on Certified Survey Map, removing a public road right of way section and a recorded private road easement, as requested by Matthew and Suzannah Bong, N61W30697 Beaver View Road. (Tax Key No. MRTT 0394-982. Extraterritorial Jurisdiction).

10. Adjournment.

Respectfully submitted by:

Deanna Braunschweig, Village Clerk – Treasurer

To participate via Zoom:

<https://us02web.zoom.us/j/86733562615?pwd=Qc5XRPNHVf0EiBgllcFKqWLSGjpADm.1>

Meeting ID is 867 3356 2615 and the Passcode is 465630

Or Dial: 301 7158592 US

Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made to the Village Administrator with as much advance notice as possible. It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information. No action will be taken by any other governmental body except by the governing body noticed above.

NOTICE OF POSTING TO VILLAGE HALL BULLETIN & WEBSITE

Village Clerk posted this agenda on Wednesday, October 9, 2024 by 4:30 PM

VILLAGE OF CHENEQUA

VILLAGE OF CHENEQUA - PLAN COMMISSION MINUTES
OF MONDAY, SEPTEMBER 9, 2024
Unofficial until approved by the Plan Commission.
Approved as written () or with corrections () on _____.

The regular monthly meeting of the Plan Commission for the Village of Chenequa was held on Monday, September 9, 2024 at 6:00 p.m. utilizing Zoom Communications and in person.

Ms. Villavicencio / Chairperson – present
Ms. Surlles / Member – absent
Mr. Pranke / Member – present
Mr. Enters / Member –present
Ms. Benz / Member – present
Mr. Carroll / Member - present
Mr. Kriva / Member – present
Mr. Gartner / Village Attorney Representative - absent
Mr. Lincoln / Zoning Administrator-Forester – present
Mr. Neumer / Administrator-Police Chief – present
Mr. Carney / Police Captain – present
Ms. Braunschweig / Village Clerk – present

Call to Order.

Pledge of Allegiance

Public in Attendance

Michael Kelly, Heidi von Hagke, Ted Rolfs, Carol Manegold, Richard Grunke, Julie Rolfs
Julie and Mark Petri, Sue Touchett, Timothy Fredman, JoJo Gehl Neumann, George Rolfs, Wendy Wiza,
Amy Schmidt, Bob and Nina Fiedler, EJ Kubick

Public Comment

President Villavicencio read a prepared statement allowing for public comments of two minutes or less.

Julie Petri commented that she would like time to interact with the board.

Approval of minutes from the Plan Commission meeting held on August 12, 2024.

Motion (Enters/Kriva) to approve the minutes from the Plan Commission meeting of August 12, 2024, as presented. *Motion carried.*

Review and Consider Action on proposed landscape plan at 4667 N Pine Meadows Lane, Michael Kelly. (Tax Key No. 734-991-001).

Lincoln introduced Michael Kelly. Michael Kelly introduced the proposed landscape plan.

Lincoln reported that the Village was made aware of zoning violation on the property and issued a stop work order. The hillside had been cleared of brush, graded, and the existing landscaping had been removed. Erosion control was installed. A landscape plan was prepared.

Landscaping sketches were included in the packet.

Lincoln reviewed the site plan as included in the packet. The proposal is outside of the 75-foot setback. The proposed landscaping plan includes replacing a set of stairs and adding retaining walls. The existing railroad tie stairway along the west side of the house is proposed to be replaced with Lannon stone steps to connect with a set of existing Lannon stone steps. The proposal includes to extend two retaining walls and add additional retaining walls. Wildflower prairie mix and trees and shrubs will be installed.

The trees are within the 75 foot setback, nine trees in total.

Motion (Pranke/Carroll) to recommend proposed landscape plan at 4667 N Pine Meadows Lane, Michael Kelly. (Tax Key No. 734-991-001). *Motion carried.*

Review and Consider Action on proposed landscape plan at 6577 N Hwy 83, John Syburg. (Tax Key No. 371-979-002).

Wendy Wiza was on-line, representing the Syburg's. This is replacing the existing with a smaller footprint.

Lincoln reviewed the site plan as included in the packet. The proposed landscaping plan includes adding a path and replacing existing stairs. The proposed path is to be constructed of flagstone steppers set on the existing soil and will not exceed 3 feet in width. The proposed steps will replace three existing sets of steps with new steps inside the same footprint. The existing steps are currently constructed of wooden timbers. The new proposed steps will be constructed of flagstone and will not exceed 4 feet in width. All three proposed sets of steps fall within 75' of the lakefront. 6.5(4)(a)(i) currently only allows one set of stairs within the 75' setback from the ordinary high-water mark. The proposed stairs directly replace what is existing legal non-conforming and does not increase the footprint. There is existing lighting but not installing any new lighting.

Motion (Benz/Kriva) to recommend proposed landscape plan at 6577 N Hwy 83, John Syburg. (Tax Key No. 371-979-002). *Motion carried.*

Review and Consider Action on proposed fence at 7141 N State Road 83, Brett and Kathaleen Swanson. (Tax Key No. 370-994).

Lincoln reviewed the site plan as included in the packet. The applicants are proposing to install a fence with arbors on the property to surround an existing pool. 5.21(3) requires that swimming pools have an enclosure around them constituting of a fence, wall, structure or combination thereof. The proposed fence is 5 foot in height and proposed arbors are 7 feet 10 inches in height. Village code requires that the fence be a minimum of 3 feet, 5 inches and not to exceed 8 feet. The dimensions of this fenced in area are approximately 80 feet X 110 feet.

Motion (Pranke/Carroll) to recommend proposed fence at 7141 N State Road 83, Brett and Kathaleen Swanson. (Tax Key No. 370-994). *Motion carried.*

Review and consider action on Ordinance 09-09-2024-01 Amendment to Pier Regulation in relation to lighting and frontage sliding scale.

Lincoln reviewed the changes as provided by Attorney Gartner. The amendments include a sliding scale setback, lighting is not permissible, and appeals will go through the Village board on a case-by-case basis.

Motion (Kriva/Benz) to approve the revised draft of the ordinance creating section 4.15 of the Village Code on file with the Village Clerk and to recommend approval to the Village Board. *Motion carried.*

Adjournment

Motion (Pranke/Enters) to adjourn the Plan Commission meeting at 6:15 p.m. *Motion carried.*

Respectfully submitted by:

Approved and Ordered Posted by:

Deanna Braunschweig, Village Clerk

Jo Ann F. Villavicencio, Chairperson



STAFF REVIEW

Date: September 24th, 2024

Meeting Date & Time: Monday, October 14th at 6:00 p.m.

To: Plan Commission, Village of Chenequa

From: Planning Department

Subject: Site Plan Review

Architect/Builder: KCB Buildings

Owner: Natalie Rix and John Fritzke

Location: 5961 N Cedarhurst Lane

Project Description: New Accessory Structure

Zoning District: Residence District – Lot Abutting a Lake

ACCESSORY STRUCTURE:	REQUIRED RES. DISTRICT		PROPOSED PROJECT	
LOT AREA:	2	acres	5.51	Acres
LOT WIDTH: AVERAGE	150	L.F. min.	306	L.F.
YARD SETBACKS: Side(North)	12.5	ft. min.	97.29	ft.
Lake (West)	75	ft. min.	300+	ft.
Rear (East)	25	ft. min.	250+	ft.
Side (South)	12.5	ft. min.	103.79	ft.
BUILDING HEIGHT:	35	ft. max	26.6	ft.

Proposed Accessory Structure

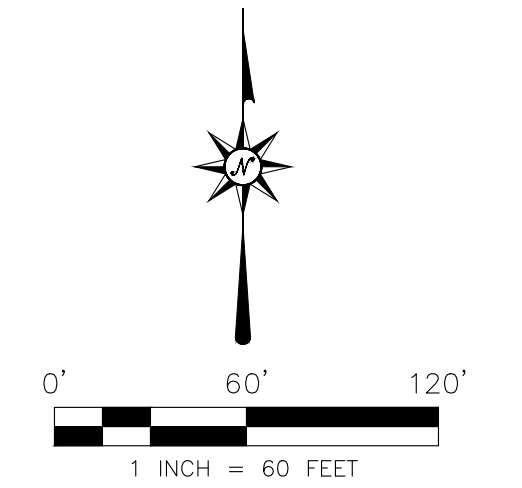
1. The applicant proposes to construct a two-story accessory structure.
2. The dimensions of this proposed accessory structure are 30'x 50'
3. As proposed, this structure includes a second story loft. Including the loft space, this structure is approximately 2,300 square feet.
4. There is a proposed bathroom with a sink and a toilet on the first floor.
5. There are no cooking or sleeping quarters proposed for this structure

6. The proposed detached accessory structure is over one hundred (100) feet to any existing single-family structure on an adjoining lot which complies with section Sec. 6.5(c)(i).
7. This structure is proposed to be sheathed with a red board and batten siding with a natural stone veneer. (See color rendering)
8. The roof of this structure is proposed to be a graphite color pac clad standing seam steel roof.
9. An exterior light option has been submitted
 - a. The proposed lights are fully shielded and comply with the color temperature requirements specified in 5.24
10. Currently, only the accessory structure is being proposed. The circle driveway component shown on A-001 is not currently being proposed.
11. A building permit is required from the Building Inspector prior to start of construction.

c: Dan Neumer, Administrator
Deanna Braunschweig, Clerk
Paul Launer, Lake Country Inspections
Natalie Rix and John Fritzke, Owner
Cody Lincoln, Zoning Administrator

PLAT OF SURVEY
UNPLATTED LANDS BEING PART OF THE NE 1/4 OF THE SW 1/4 AND THE NW 1/4 OF THE SE 1/4 OF SECTION 28, TOWN 8 NORTH, RANGE 18 EAST, VILLAGE OF CHENEQUA, WAUKESHA COUNTY, WISCONSIN.

- NOTES:**
- TITLE COMMITMENT PROVIDED PREPARED BY CHICAGO TITLE INSURANCE COMPANY DATED OCTOBER, 27, 2023, POLICY No. RE-32933 WITH THE FOLLOWING EASEMENTS THAT MAY AFFECT THE SUBJECT PARCEL:
 - EXCEPTION 09: RIGHTS OF OTHERS IN AND THAT CERTAIN EASEMENT AND RIGHT-OF-WAY MORE FULLY SET FORTH IN THE EASEMENT DATED DECEMBER 24, 1965, FILED OF RECORD SEPTEMBER 29, 1969, IN VOLUME 1174 OF DEEDS AT PAGE 213, AS DOCUMENT NO. 748542.
 - EXCEPTION 10: EASEMENT IN FAVOR OF WISCONSIN NATURAL GAS COMPANY AS CONTAINED IN EASEMENT DATED OCTOBER 11, 1972, FILED OF RECORD OCTOBER 16, 1972, AS DOCUMENT NO. 831871.
 - EXCEPTION 11: EASEMENT IN FAVOR OF WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN BELL INC. THEIR SUCCESSORS AND ASSIGNS AS CONTAINED IN INDIVIDUAL AND CORPORATE U.G. EASEMENT DATED FEBRUARY 22, 1984, FILED OF RECORD MAY 23, 1984, AS DOCUMENT NO. 1257895.
 - EXCEPTION 12: SUBJECT TO THE PROVISIONS OF THAT CERTAIN LETTER AGREEMENT BY AND BETWEEN ROBERT L. MANEGOLD AND SALLY S. MANEGOLD, AND HARRY QUADRACCI AND BETTY QUADRACCI, DATED APRIL 12, 1988 AND RECORDED ON APRIL 18, 1991 ON REEL 1293, IMAGE 0459.
 - EXCEPTION 13: DEED RESTRICTIONS RECORDED ON MAY 28, 1999 ON REEL 2909, IMAGE 1268 AS DOCUMENT NO. 2468647; FIRST AMENDMENT RECORDED FEBRUARY 12, 2021 AS DOCUMENT NO. 4556752.
 - EXCEPTION 14: EASEMENT AGREEMENT RECORDED AS DOCUMENT NO. 1450376.
 - EXCEPTION 15: EASEMENT AGREEMENT RECORDED AS DOCUMENT NO. 1464719.
 - ANY LANDS BELOW THE ORDINARY HIGH WATER MARK OF A LAKE OR A NAVIGABLE STREAM IS SUBJECT TO THE PUBLIC TRUST IN NAVIGABLE WATERS THAT IS ESTABLISHED UNDER ARTICLE IX, SECTION 1, OF THE STATE CONSTITUTION.
 - FLOODPLAIN IS PER FEMA FIRM MAP No. 55133C0063G AND MAP No. 55133C0044G, MAP REVISED NOVEMBER 5, 2014. FLOODPLAIN ELEVATION DETERMINED FROM FEMA INSURANCE STILL WATER ELEVATION CHART, ZONE X.
 - THE O.H.W.M. (ORDINARY HIGH WATER MARK) IS AN APPROXIMATE LOCATION DETERMINED BY THE SURVEYOR; IT IS RECOMMENDED THAT THE ZONING ADMINISTRATOR FOR THE MUNICIPALITY APPROVE OR SET THE O.H.W.M. ELEVATION.



BEARINGS BASED ON GRID NORTH OF THE WISCONSIN COUNTY COORDINATE SYSTEM, WAUKESHA COUNTY ZONE (NAD 83 WISCONSIN 2011) AND REFERENCED TO THE WEST LINE OF THE SE 1/4 OF SEC. 28-8-18 MEASURED AS N01°04'04"E. VERTICAL DATUM IS NAVD 88 (GEOID 12A)

PROPOSED 30'X50' ACCESSORY STORAGE BUILDING, SEE ARCHITECTURAL SITE PLAN

PARCEL AREA
R.O.W. TO O.H.W.M. 238,373 S.F.
5.472 ACRES
R.O.W. TO MEANDER 232,476 S.F.
5.337 ACRES
P/L TO MEANDER 233,364 S.F.
5.357 ACRES
GROSS 239,261 S.F.
5.493 ACRES

EXISTING IMPERVIOUS SURFACE
DWELLING = 5,593*
DECK(S) = 40
PATIO(S) = 410
RETAINING WALLS (ONE SQ. FT. PER LINEAL FT.) = 233
ASPHALT DRIVEWAY/ROAD = 22,158
GRAVEL DRIVEWAY = 2,641
SIDEWALKS = 574
MISCELLANEOUS CONCRETE = 148
STEPS = 118
TOTAL IMPERVIOUS SURFACE AREA = 31,915
LOT SIZE = 239,261
TOTAL PERCENT IMPERVIOUS SURFACE = 13.3%
*INCLUDES ROOF ELEMENTS

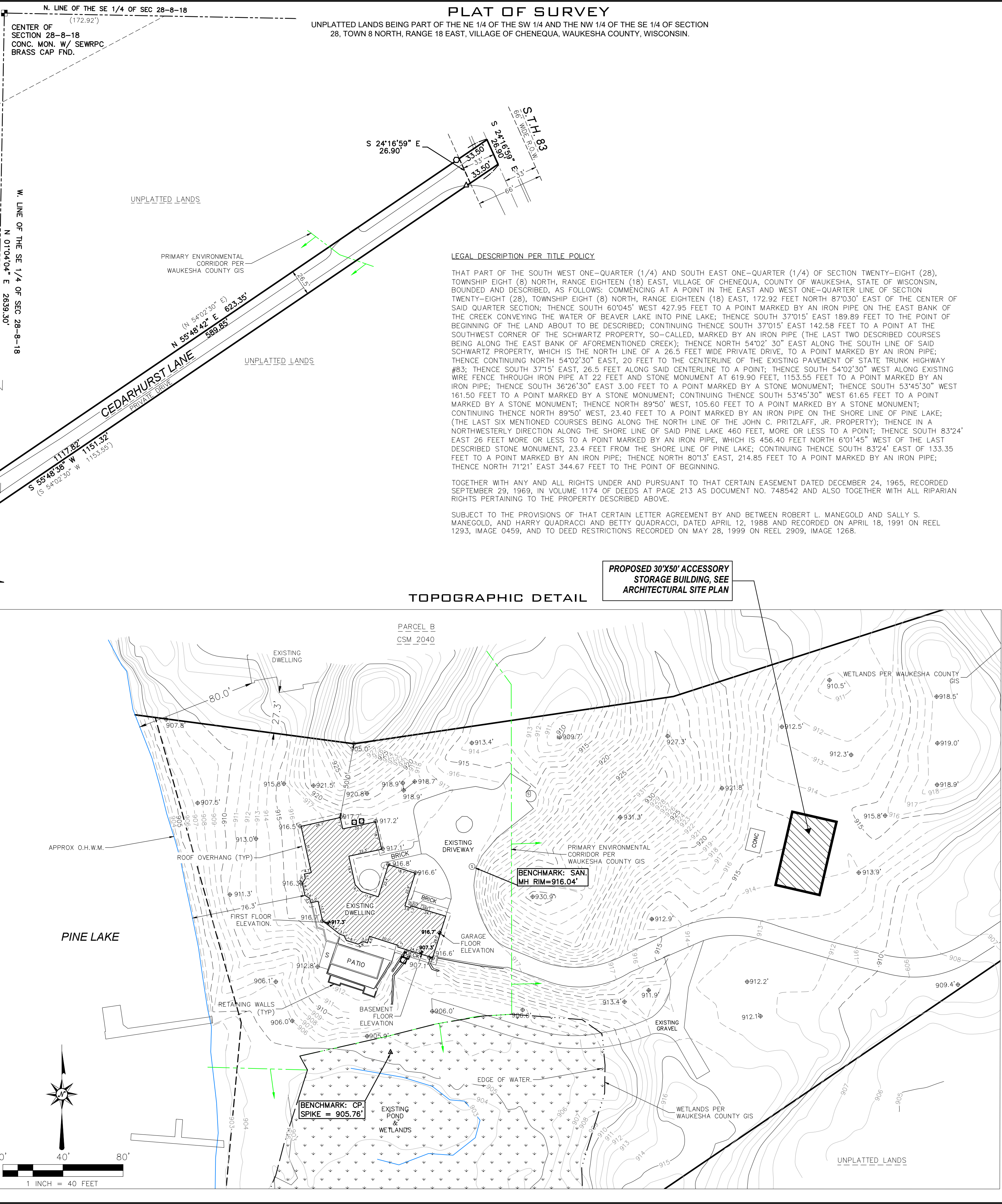
- LEGEND**
- SECTION CORNER MONUMENT
 - CONCRETE MONUMENT
 - FOUND 3/4 REBAR* OR NOTED
 - FOUND 1" IRON PIPE OR NOTED
 - FOUND PK
 - CONTROL POINT BENCHMARK
 - SET 0.75" O.D. X 18" REBAR
 - WEIGHING 1,502 LBS./FT.
 - SANITARY MANHOLE
 - ELECTRIC
 - GAS
 - FLOOR ELEVATION
 - EXISTING SPOT GRADE
 - EXISTING CONTOUR PER FIELD SURVEY
 - EXISTING CONTOUR PER GIS
 - RECORD DIMENSION
 - STEPS
 - AIR CONDITIONER

SURVEYOR'S CERTIFICATION:
I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS, ROADWAY AND VISIBLE ENCROACHMENTS, IF ANY. THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE, THE TITLE THERETO WITHIN ONE (1) YEAR FROM DATE HEREOF.

SIGNED: MATTHEW T. O'ROURKE, PROFESSIONAL LAND SURVEYOR S-2771



LOCATION	5961 N. CEDARHURST LN HARTLAND, WI 53029 TAX KEY: CHQV0399996
CLIENT	JOHN FRITZKE & NATALIE RIX
PROJ. NAME	BOUNDARY & TOPO
LAYOUT NAME	EXISTING CONDITIONS
SHEET NO	SHEET 1 OF 1
DATE	07/15/2024
REVISION	RE:
REVISION	RE:
REVISION	RE:
DRWN:	LJS
CHKD:	MTO
PROJ. NO:	24125
FILE NO:	24125_SURVEY.DWG



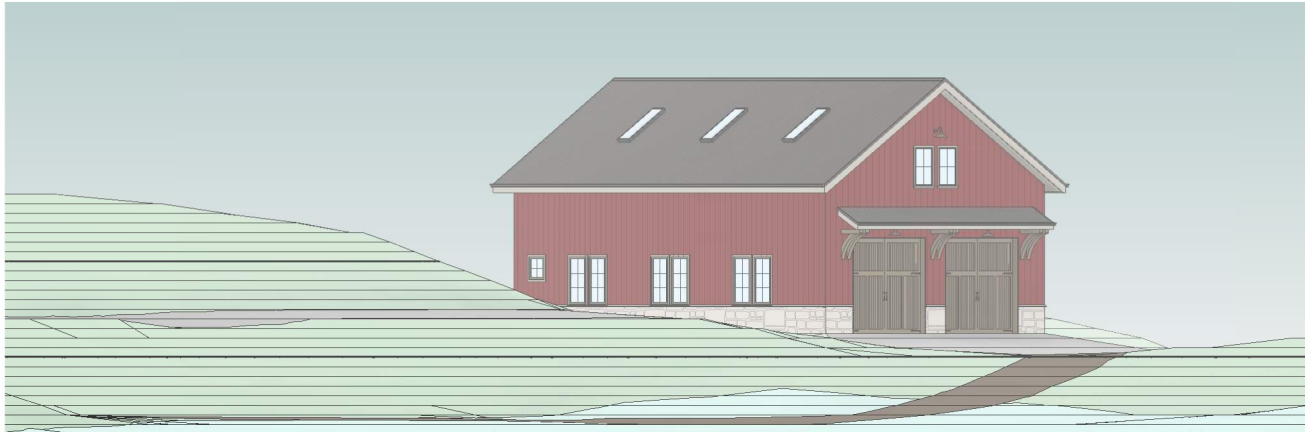
LEGAL DESCRIPTION PER TITLE POLICY

THAT PART OF THE SOUTH WEST ONE-QUARTER (1/4) AND SOUTH EAST ONE-QUARTER (1/4) OF SECTION TWENTY-EIGHT (28), TOWNSHIP EIGHT (8) NORTH, RANGE EIGHTEEN (18) EAST, VILLAGE OF CHENEQUA, COUNTY OF WAUKESHA, STATE OF WISCONSIN, BOUNDED AND DESCRIBED, AS FOLLOWS: COMMENCING AT A POINT IN THE EAST AND WEST ONE-QUARTER LINE OF SECTION TWENTY-EIGHT (28), TOWNSHIP EIGHT (8) NORTH, RANGE EIGHTEEN (18) EAST, 172.92 FEET NORTH 87°03'00" EAST OF THE CENTER OF SAID QUARTER SECTION; THENCE SOUTH 60°04'5" WEST 427.95 FEET TO A POINT MARKED BY AN IRON PIPE ON THE EAST BANK OF THE CREEK CONVEYING THE WATER OF BEAVER LAKE INTO PINE LAKE; THENCE SOUTH 37°01'5" EAST 189.89 FEET TO THE POINT OF BEGINNING OF THE LAND ABOUT TO BE DESCRIBED; CONTINUING THENCE SOUTH 37°01'5" EAST 142.58 FEET TO A POINT AT THE SOUTHWEST CORNER OF THE SCHWARTZ PROPERTY, SO-CALLED, MARKED BY AN IRON PIPE (THE LAST TWO DESCRIBED COURSES BEING ALONG THE EAST BANK OF AFOREMENTIONED CREEK); THENCE NORTH 54°02'30" EAST ALONG THE SOUTH LINE OF SAID SCHWARTZ PROPERTY, WHICH IS THE NORTH LINE OF A 26.5 FEET WIDE PRIVATE DRIVE, TO A POINT MARKED BY AN IRON PIPE; CONTINUING THENCE NORTH 54°02'30" EAST, 20 FEET TO THE CENTERLINE OF THE EXISTING PAVEMENT OF STATE TRUNK HIGHWAY #83; THENCE SOUTH 37°15' EAST, 26.5 FEET ALONG SAID CENTERLINE TO A POINT; THENCE SOUTH 54°02'30" WEST ALONG EXISTING WIRE FENCE THROUGH IRON PIPE AT 22 FEET AND STONE MONUMENT AT 619.90 FEET, 1153.55 FEET TO A POINT MARKED BY AN IRON PIPE; THENCE SOUTH 36°26'30" EAST 3.00 FEET TO A POINT MARKED BY A STONE MONUMENT; THENCE SOUTH 53°45'30" WEST 161.50 FEET TO A POINT MARKED BY A STONE MONUMENT; CONTINUING THENCE SOUTH 53°45'30" WEST 61.65 FEET TO A POINT MARKED BY A STONE MONUMENT; THENCE NORTH 89°50' WEST, 105.60 FEET TO A POINT MARKED BY A STONE MONUMENT; CONTINUING THENCE NORTH 89°50' WEST, 23.40 FEET TO A POINT MARKED BY AN IRON PIPE ON THE SHORE LINE OF PINE LAKE; (THE LAST SIX MENTIONED COURSES BEING ALONG THE NORTH LINE OF THE JOHN C. PRITZLAFF, JR. PROPERTY); THENCE IN A NORTHWESTERLY DIRECTION ALONG THE SHORE LINE OF SAID PINE LAKE 460 FEET, MORE OR LESS TO A POINT; THENCE SOUTH 83°24' EAST 26 FEET MORE OR LESS TO A POINT MARKED BY AN IRON PIPE, WHICH IS 456.40 FEET NORTH 6°01'45" WEST OF THE LAST DESCRIBED STONE MONUMENT, 23.4 FEET FROM THE SHORE LINE OF PINE LAKE; CONTINUING THENCE SOUTH 83°24' EAST OF 133.35 FEET TO A POINT MARKED BY AN IRON PIPE; THENCE NORTH 80°13' EAST, 214.85 FEET TO A POINT MARKED BY AN IRON PIPE; THENCE NORTH 71°21' EAST 344.67 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH ANY AND ALL RIGHTS UNDER AND PURSUANT TO THAT CERTAIN EASEMENT DATED DECEMBER 24, 1965, RECORDED SEPTEMBER 29, 1969, IN VOLUME 1174 OF DEEDS AT PAGE 213 AS DOCUMENT NO. 748542 AND ALSO TOGETHER WITH ALL RIPARIAN RIGHTS PERTAINING TO THE PROPERTY DESCRIBED ABOVE.

SUBJECT TO THE PROVISIONS OF THAT CERTAIN LETTER AGREEMENT BY AND BETWEEN ROBERT L. MANEGOLD AND SALLY S. MANEGOLD, AND HARRY QUADRACCI AND BETTY QUADRACCI, DATED APRIL 12, 1988 AND RECORDED ON APRIL 18, 1991 ON REEL 1293, IMAGE 0459, AND TO DEED RESTRICTIONS RECORDED ON MAY 28, 1999 ON REEL 2909, IMAGE 1268.

PROPOSED 30'X50' ACCESSORY STORAGE BUILDING, SEE ARCHITECTURAL SITE PLAN



I Barn Elevation from Lake Level
 1" = 20'-0"



NOTE: PROPOSED STORAGE/GARAGE BUILDING IS SETBACK 366.9' FROM LAKE PROPERTY LINE AND AREA IS HEAVILY WOODED. THE BARN IS NOT EXPECTED TO BE VISIBLE FROM THE LAKE.

APPROXIMATE FACADE AREA EXPOSED TOWARDS LAKE DIRECTION: 1,329 SF

BARN WILL BE FAR BEYOND THIS TREE LINE

EXISTING CONDITION PHOTOGRAPHY TAKEN FROM LAKE'S EDGE, LOOKING EAST



Keith C. Barnes, AIA, LEED AP
 Registered Architect [New York, Wisconsin]
 e: keith@kcbbuildings.com p: (608) 669-4923

Fritzke-Rix Residence - 5961 Cedarhurst Ln

Project Address:
 5961 Cedarhurst Ln
 Hartland, WI 53029

Lake Elevation

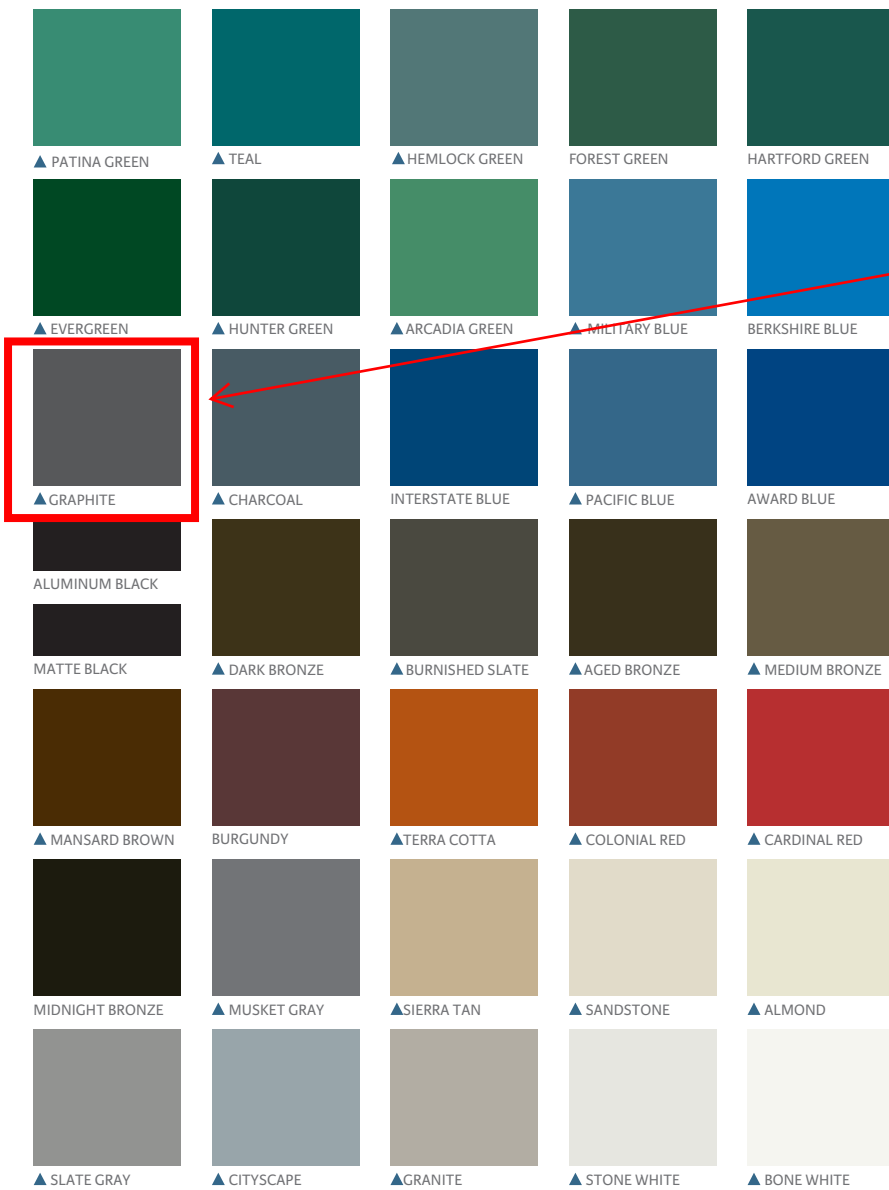
A-401

Scale: 1" = 20'-0"

Barn Exterior Product Specifications *Roofing*

AN ELEGANT PALETTE

Petersen's extensive color palette includes options that are complementary to most architectural styles, building materials including brick, stone and wood, plus exterior products such as siding, windows and doors.



Selected Color

BEYOND THE ORDINARY



Private Residence, Chicago
 Installing Contractor: Custom Installations
 Architect: Kipnis Architecture and Planning
 Distributor: Sheet Metal Supply

GC: Shardon Builders
 Photo: A. J. Brown
 Profile: Snap-Clad
 Color: Weathered Zinc

Premium Colors



▲ Cool Colors ● Metallic Colors 🏰 Premium Colors

Due to limitations of the printing process, color representation on the grid above is not 100% accurate. Please request a free color guide from your Petersen rep, architect or contractor to confirm your color choice before placing an order.

A home with a metal roof stands with more pride than neighboring homes, and for good reason. The beauty of a metal roof is superior to the asphalt shingles most homeowners think of when envisioning a residential roof. A metal roof will perform better, too. The properties of metal combined with the incredible solar reflectivity of our superior PAC-CLAD paint coating can reduce the cost of heating and cooling a home. Additionally, a metal roof will last much longer and endure better than an asphalt or wood roof. While neighbors

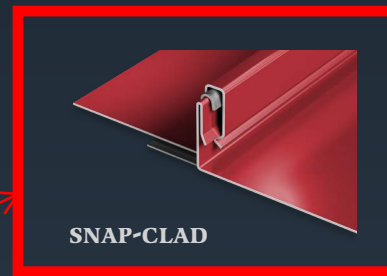
complain about replacing their non-metal roofs, those living under metal roofs will beam with pride that their looks as good as the day it was installed.

SEE IT ON YOUR HOME TODAY

Drop a photo of any home into our online visualization tool to see how Petersen's PAC-CLAD products will look on it. Visit pac-clad.com/pac-e-tools to work with the visualizer. Or, ask your contractor for assistance.

BEAUTIFUL PROFILES

Selected Profile



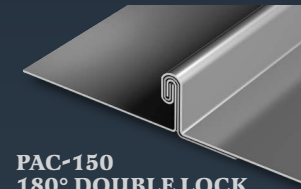
SNAP-CLAD



REDI-ROOF
STANDING SEAM

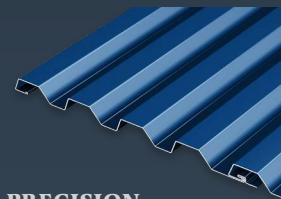


PAC-150
90° SINGLE LOCK

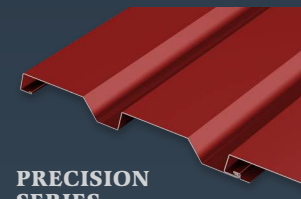


PAC-150
180° DOUBLE LOCK

Siding



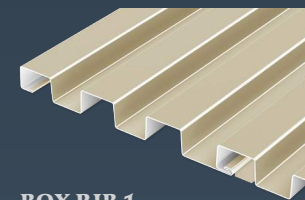
PRECISION
SERIES HWP



PRECISION
SERIES
HIGHLINE 16-C



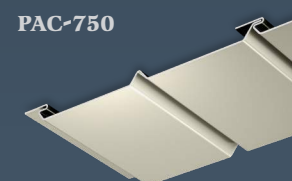
FLUSH
PANEL



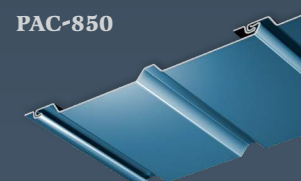
BOX RIB 1

Siding available in wood grain and ore patina finishes.

Soffits



PAC-750



PAC-850

Soffit panels come in solid, full-vented and half-vented variations.

Private residence, Florida
Architect: T. S. Adams Studio Architects
Installing contractor: Cartercraft Roofing
Profiles: PAC-150, Flush panel
Colors: Weathered Zinc, Champagne

SNAP-CLAD PANEL

MATERIALS

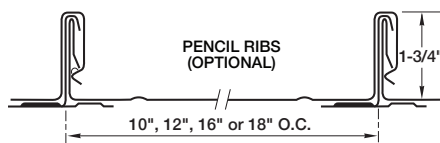
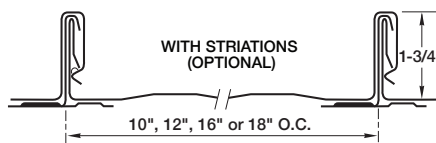
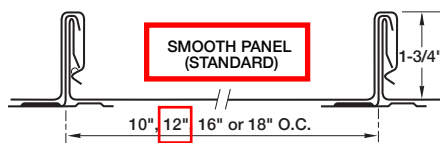
.032 aluminum 24 gauge steel

.040 aluminum 22 gauge steel

SPECS

10", 12", 16" or 18" O.C. 1-3/4" High

UL-90



PRODUCT FEATURES

- ▶ Architectural/structural panel
- ▶ Factory-applied sealant available
- ▶ Continuous interlock
- ▶ Labor-saving one-piece design
- ▶ Pencil ribs upon request
- ▶ Striations upon request
- ▶ Factory eave notching available
- ▶ 30-year-non-prorated finish warranty
- ▶ Maximum factory-produced panel length is 64' (check w/factory for longer lengths)
- ▶ Weathertightness warranty available

- ▶ 43 stocked colors (24 gauge steel)
- ▶ 16 Stocked colors (22 gauge steel)
- ▶ 36 stocked colors (.032 aluminum)
- ▶ 22 stocked colors (.040 aluminum)
- ▶ Panels available in Galvalume Plus

UL CLASSIFICATION

- ▶ UL-580 Class 90 wind uplift
- ▶ UL-1897 wind uplift
- ▶ UL-790 Class A fire rated
- ▶ UL-263 fire resistance rated
- ▶ UL-2218 impact resistance rated

- ▶ UL-90 rated aluminum panel up to 16" O.C.
- ▶ UL-90 rated steel panel up to 18" O.C.

ASTM TESTS

- ▶ ASTM E1592 tested
- ▶ ASTM E283/1680 tested
- ▶ ASTM E331/1646 tested

FLORIDA BUILDING & MIAMI-DADE PRODUCT APPROVALS

Please refer to pac-clad.com or your local factory for specific product approval numbers for Snap-Clad.

Note: UL 90 is available on steel panels up to 18" on center, and on aluminum panels up to 16" on center.

A LIFETIME INVESTMENT



Private Residence, Tallahassee, FL
Installing contractor: Tallahassee Roofing
Architect: C. Brandon Ingram Design
General contractor: Barton Construction

Material distributor: ABC Supply
Photo: jeffherrphoto.com
Profiles: Snap-Clad
Color: Mill finish

When considering a metal roof, discussions should focus on lifetime value, not upfront cost. A metal roof is for homeowners who appreciate its value. The price of a metal roof, which comes with an estimated lifetime of 50 years if properly maintained, can be up to three times the installed cost of other materials. In return for the investment, the made-in-the-USA metal roof will last 3 or 4 times longer than a typical residential roof.

METAL EXPERIENCE MATTERS

When choosing an architect or contractor, experience matters. A metal roof is a different product that requires a specialized skill set to properly specify and install. Choosing architects and contractors with metal roof experience will maximize your metal roof's performance, and add a level of comfort to your decision.

NEW CONSTRUCTION OR REMODELING

A metal roof will look beautiful and perform well on a home built from the ground up, or on a home undergoing an exterior remodel or simple roof replacement. A good architect or designer can blend a Petersen metal roof or siding with any architectural style or color.

STEEL OR ALUMINUM

Petersen's PAC-CLAD metal roofing and siding products are available in either steel or aluminum. An experienced Petersen rep, architect or contractor will guide homeowners toward the material that's best for their home.

A GREEN, SUSTAINABLE PRODUCT

A Petersen metal roof is made with recycled content, qualifying it as a "green" or recycled-content product. It is also 100% recyclable at the end of its useful life, unlike other roofing materials which are routinely disposed of by the ton in landfills.

LITERALLY COOL COLORS

A PAC-CLAD metal roof from Petersen is available in 35 colors that are rated by the Cool Roof Rating Council. Coating technology that is specifically formulated for PAC-CLAD products reflects sunlight and cools a roof by emitting radiation to its surroundings. The roof stays cooler and reduces the amount of heat conducted to a home, saving up to 40% of a typical home's annual energy costs.

WARRANTY COVERAGE

Petersen offers a limited 30-year finish warranty on its PAC-CLAD painted metal roof and siding panels. A weathertight warranty is available on selected metal roof products.

Barn Exterior Product Specifications *Siding*

**Selected Siding Product:
Boral Tru Exterior Board and Batten Smooth,
painted finish (color: barn red)**

5/8 Trim Sizes		1X Trim Sizes		5/4 Trim Sizes		2X Trim Sizes	
Nominal	Actual	Nominal	Actual	Nominal	Actual	Nominal	Actual
—	—	—	—	—	—	2 x 2	1-1/2" x 1-1/2"
—	—	1 x 3	3/4" x 2-1/2"	5/4 x 3	1" x 2-1/2"	—	—
5/8 x 4	5/8" x 3-1/2"	1 x 4	3/4" x 3-1/2"	5/4 x 4	1" x 3-1/2"	2 x 4	1-1/2" x 3-1/2"
—	—	1 x 5	3/4" x 4-1/2"	5/4 x 5	1" x 4-1/2"	—	—
5/8 x 6	5/8" x 5-1/2"	1 x 6	3/4" x 5-1/2"	5/4 x 6	1" x 5-1/2"	2 x 6	1-1/2" x 5-1/2"
5/8 x 8	5/8" x 7-1/4"	1 x 8	3/4" x 7-1/4"	5/4 x 8	1" x 7-1/4"	2 x 8	1-1/2" x 7-1/4"
5/8 x 10	5/8" x 9-1/4"	1 x 10	3/4" x 9-1/4"	5/4 x 10	1" x 9-1/4"	2 x 10	1-1/2" x 9-1/4"
5/8 x 12	5/8" x 11-1/4"	1 x 12	3/4" x 11-1/4"	5/4 x 12	1" x 11-1/4"	2 x 12	1-1/2" x 11-1/4"

TruExterior® Trim is reversible with woodgrain on one side and a smooth finish on the reverse. Available in a 16' length.

Reversible Smooth/Woodgrain Finish

BOARD-AND-BATTEN SIDING

Whether a Modern Farmhouse design or creating accents on a gable, board-and-batten is one of the hottest trends in home exterior design. And it's easy to create the board-and-batten look using just TruExterior Trim.



TruExterior Trim comes pre-primed and does require paint.

TruExterior® Siding & Trim Reference Guide

SUSTAINABILITY

The sustainable properties of TruExterior® Siding & Trim are a result of a combination of proprietary polymer chemistry and highly refined, recovered coal combustion products (fly ash), which are endorsed by the U.S. Green Building Council (USGBC) for use in construction materials.

- Contains a minimum of 70% recycled content—verified by SCS Global Services



CODE LISTINGS

TruExterior® Siding & Trim have undergone rigorous internal and third-party testing to provide building officials, architects, contractors, specifiers, designers and others with reliable, high-performing products.

- California's Wildland-Urban Interface (WUI) listed—Beadboard, Siding, and Trim
- Texas Department of Insurance (TDI) EC-92—Siding
- Florida Building Code FL17285—Siding
- Intertek CCRR-0300

Barn Exterior Product Specifications *Building Stone*

Selected Natural Stone Veneer

FOND DU LAC HERITAGE BLEND



FIELDLEDGE



FIELDLEDGE HIGHLIGHTS THE HISTORICAL SIGNIFICANCE OF STONE FROM A TIME WHEN MASONRY SERVED AS A STRUCTURAL BUILDING PRODUCT. FIELDLEDGE STONES HAVE A ROUGH TEXTURE AND APPEARANCE. UTILITARIAN IN FORM, STONES IN THIS LINE GIVE EACH PROJECT AN ANTIQUATED FEEL, TAKING YOU TO THE TUSCAN COUNTRYSIDE OF ITALY OR SIPPING WINE AT A FRENCH VILLA IN BORDEAUX.

BUECHEL
STONE CORP.

WWW.BUECHELSTONE.COM
PH: 800.236.4473
INFO@BUECHELSTONE.COM

CORPORATE OFFICE
W3639 COUNTY HIGHWAY H | CHILTON, WI 53014

FABRICATION AND QUARRIES

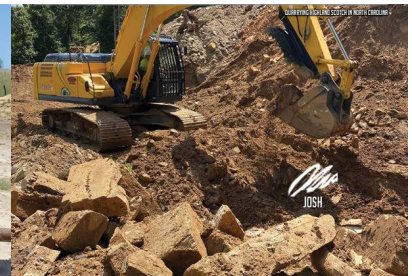
KANSAS: 1000 INDUSTRIAL BLVD | WINFIELD, KS 67156
NORTH CAROLINA: 7274 US HWY 221 N. | MARION, NC 28752
WISCONSIN: W3639 COUNTY HIGHWAY H | CHILTON, WI 53014

DESIGN CENTERS

SFDC: 101 HENRY ADAMS STREET, SUITE 443 | SAN FRANCISCO, CA 94103
THEMART: 222 MERCHANDISE MART PLAZA | CHICAGO, IL 60654
IMS: 275 MARKET STREET, SUITE 134 | MINNEAPOLIS, MN 55405
THE SHOPS AT WOODLAKE: 765H WOODLAKE ROAD | KOHLER, WI 53044



OUR NATURAL STONE IS
DOMESTIC



Barn Exterior Product Specifications *Exterior Lamp*

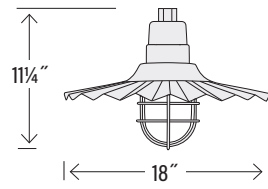
#1 - Choose A Shade

RRWS

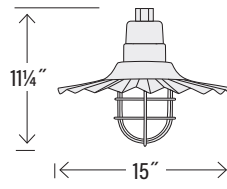
Radial Wave Shade



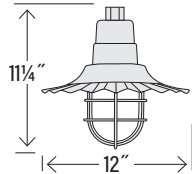
RRWS18



RRWS15



RRWS12



#3 - Choose A Finish

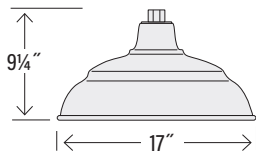
- ABR • Architectural Bronze
- CP • Copper
- GA • Galvanized
- SB • Satin Black
- SG • Satin Green
- SR • Satin Red
- WH • White

RWHS

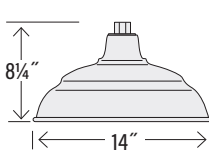
Warehouse Shade



RWHS17



RWHS14



ABR • Architectural Bronze

- GA • Galvanized
- GY • Gray
- NB • Navy Blue
- NC • Natural Copper
- SB • Satin Black
- SG • Satin Green
- SR • Satin Red
- WH • White

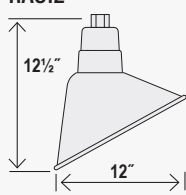
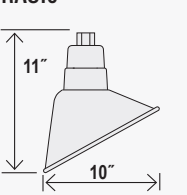
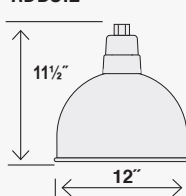
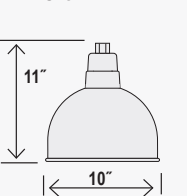
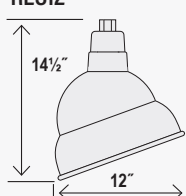
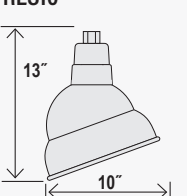
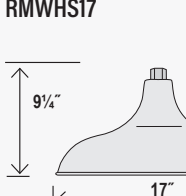
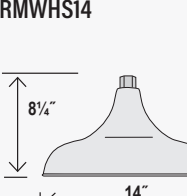
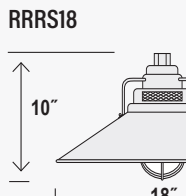
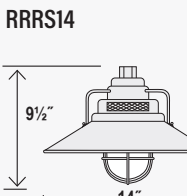
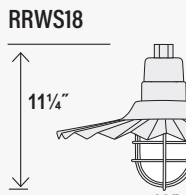
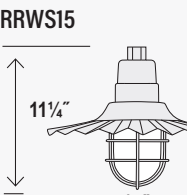
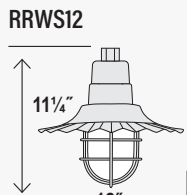
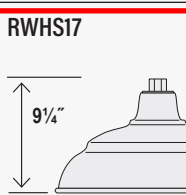
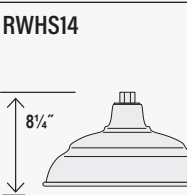


HOW TO ORDER:

#1 - CHOOSE A SHADE

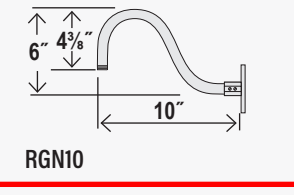
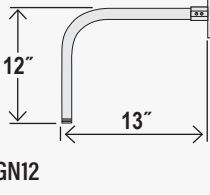
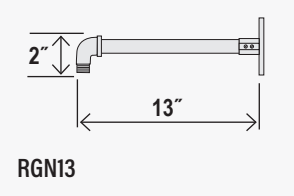
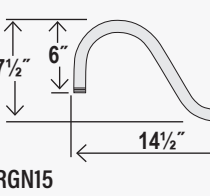
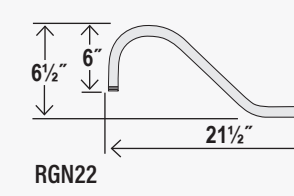

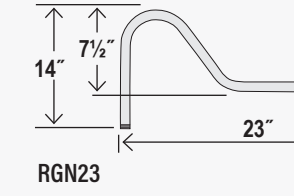
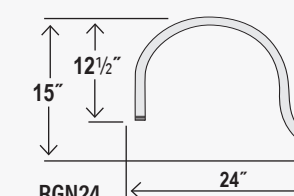
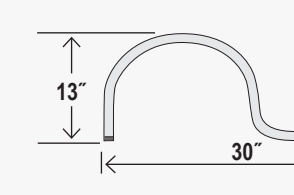
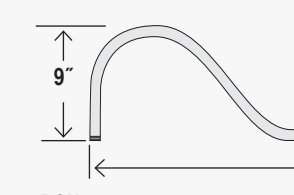
#2 - CHOOSE A SIZE

#3 - CHOOSE A COLOR

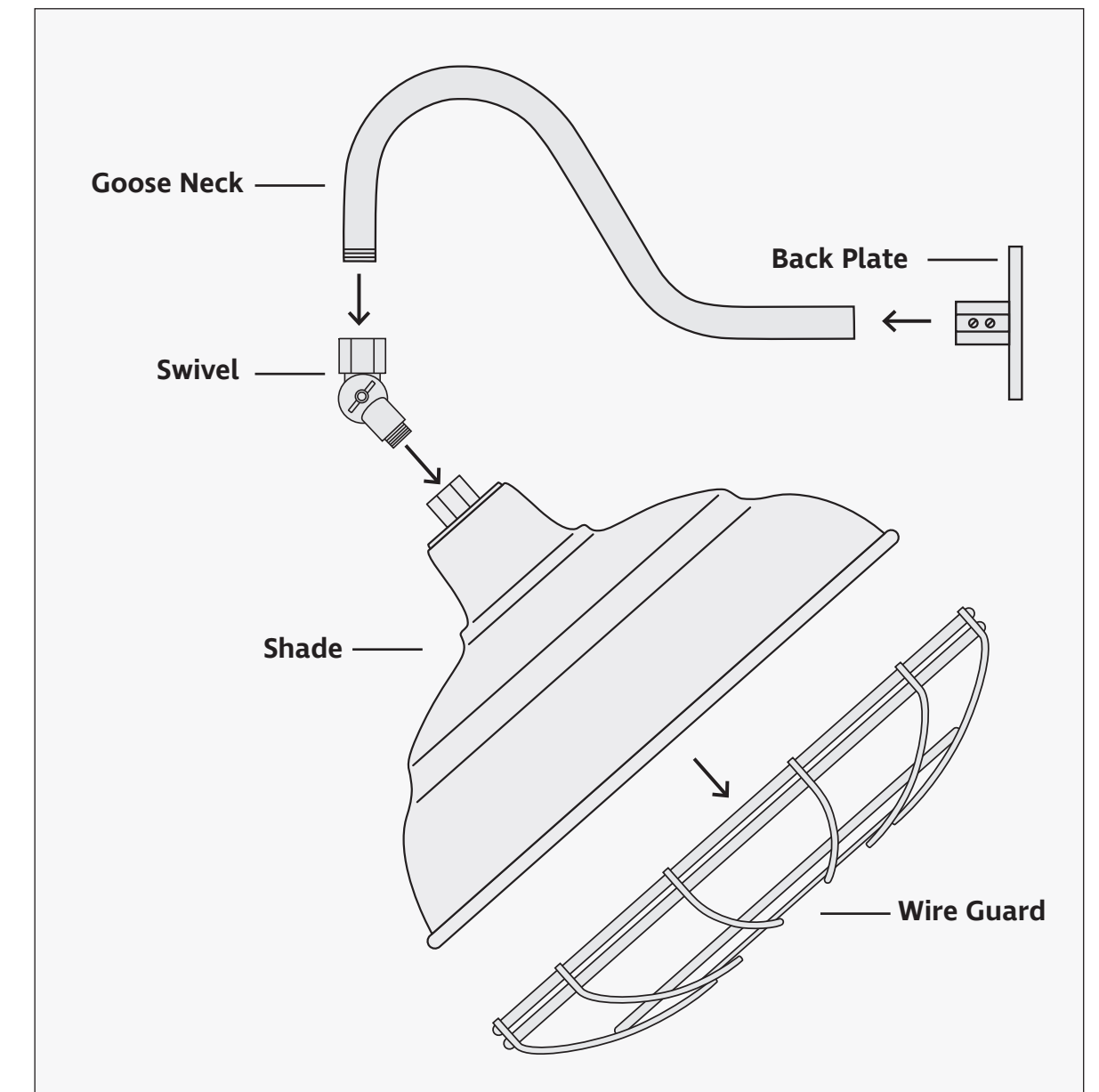
RAS Angle Shades	RAS12 	RAS10 	ABR - Architectural Bronze BP - Black Porcelain GA - Galvanized GY - Gray NB - Navy Blue NC - Natural Copper SB - Satin Black SFP - Sea Foam Porcelain SG - Satin Green SR - Satin Red WH - White WP - White Porcelain	
RDBS Deep Bowl Shades	RDBS12 	RDBS10 	ABR - Architectural Bronze GA - Galvanized GY - Gray NB - Navy Blue SB - Satin Black SG - Satin Green SR - Satin Red WH - White	
RES Emblem Shades	RES12 	RES10 	ABR - Architectural Bronze GA - Galvanized SB - Satin Black SG - Satin Green SR - Satin Red WH - White	
RMWS Modified Warehouse Shade	RMWS17 	RMWS14 	ABR - Architectural Bronze BA - Brushed Aluminum SB - Satin Black SG - Satin Green SR - Satin Red WH - White	
RRRS Railroad Shade	RRRS18 	RRRS14 	ABR - Architectural Bronze CP - Copper GA - Galvanized SB - Satin Black	
RRWS Radial Wave Shade	RRWS18 	RRWS15 	RRWS12 	ABR - Architectural Bronze CP - Copper GA - Galvanized SB - Satin Black SG - Satin Green SR - Satin Red WH - White
RWHS Warehouse Shade	RWHS17 	RWHS14 	ABR - Architectural Bronze BD - Burled Film Transfer BH - Birch Film Transfer BP - Black Porcelain GA - Galvanized GY - Gray NB - Navy Blue NC - Natural Copper SB - Satin Black SFP - Sea Foam Porcelain SG - Satin Green SR - Satin Red WH - White WP - White Porcelain	

#4 - CHOOSE A GOOSE NECK (FOR WALL MOUNT)

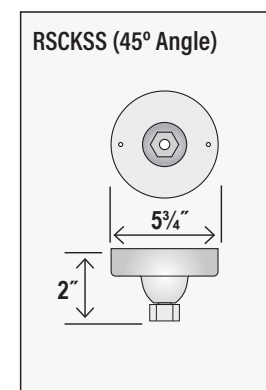
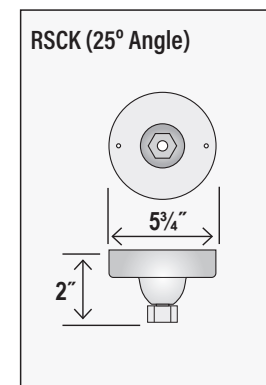
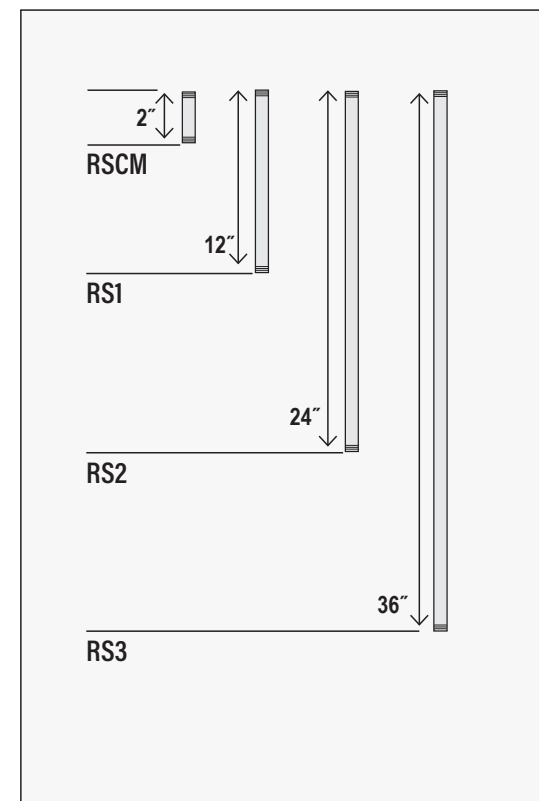
INCLUDES BACK PLATE

RGN10 	RGN12 
RGN13 	RGN15 
RGN22 	Back Plate 
RGN23 	
RGN24 	
RGN30 	
RGN41 	

How to Assemble with Goose Neck

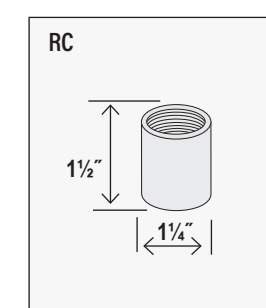


#5 - CHOOSE A STEM & CANOPY KIT (FOR CEILING MOUNT)

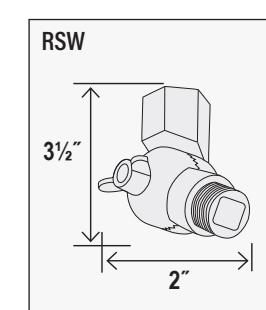


#6 - CHOOSE OPTIONS

COUPLER

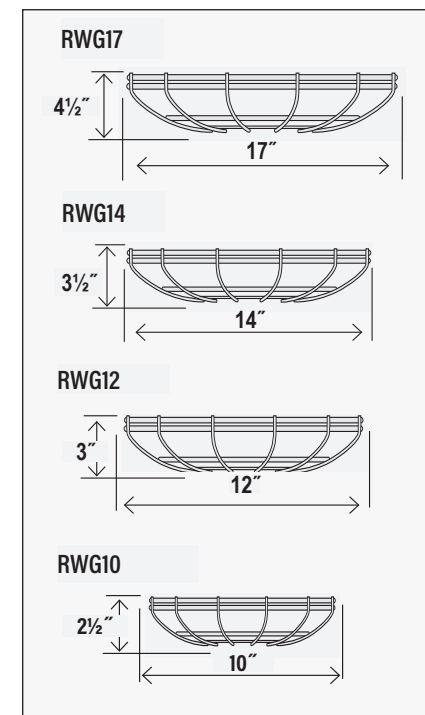


SWIVEL



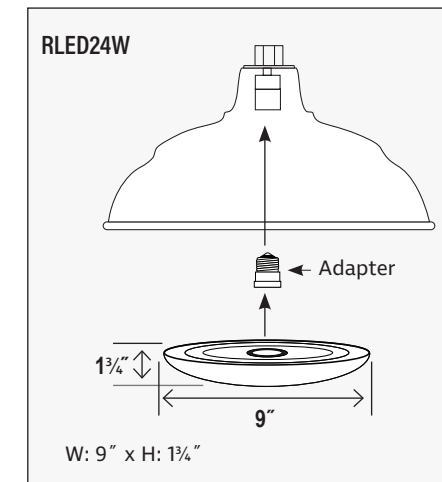
WIRE GUARD

Available for RAS, RDBS, RES, and RWHS Shades



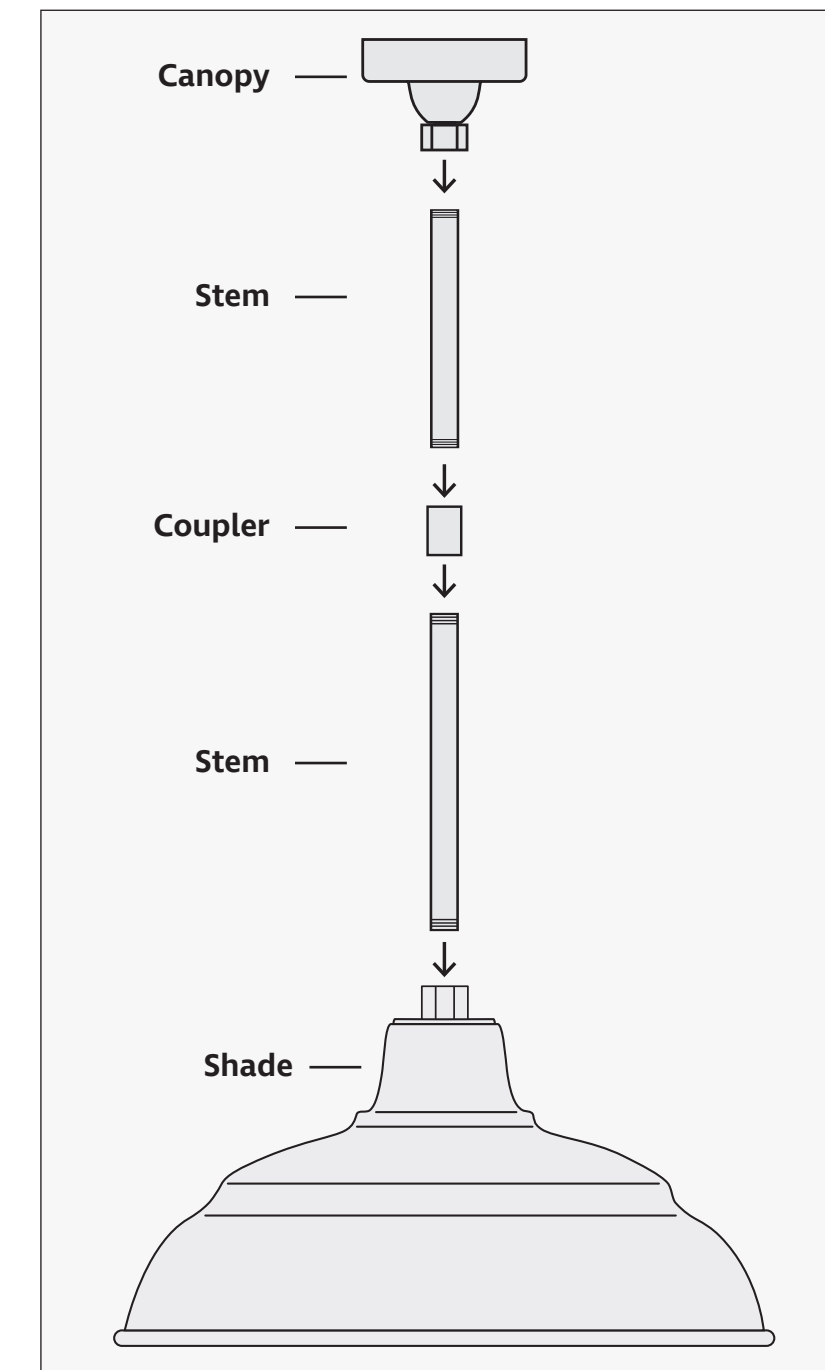
LED MODULE

RLED24W
Used for both RWHS14 and RWHS17



1920 Lumens
3000K
CRI 90
Dimmable

How to Assemble with Canopy

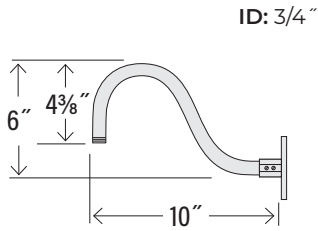


TO BUILD YOUR FIXTURE - CHOOSE A GOOSE NECK (FOR WALL MOUNT)

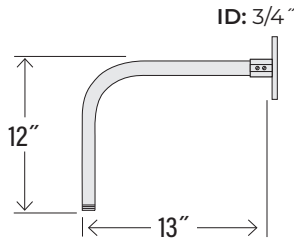
#4 - Choose A Goose Neck



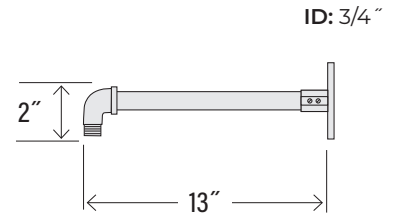
Back Plate
Included



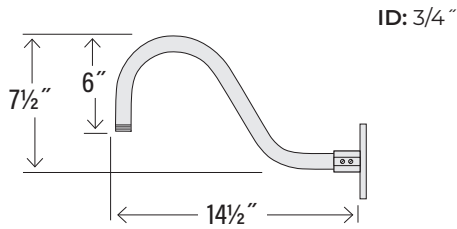
RGN10



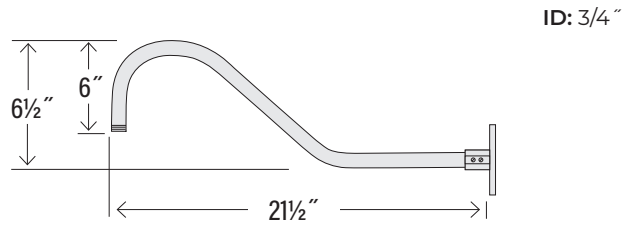
RGN12



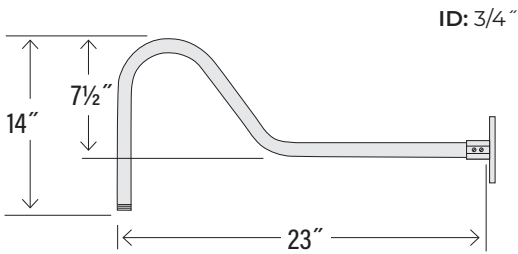
RGN13



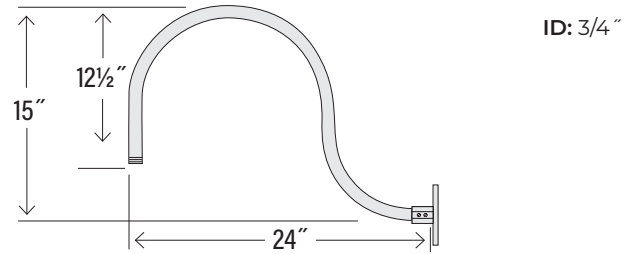
RGN15



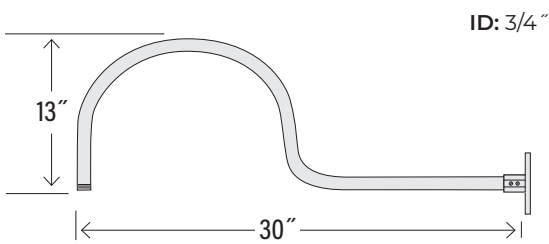
RGN22



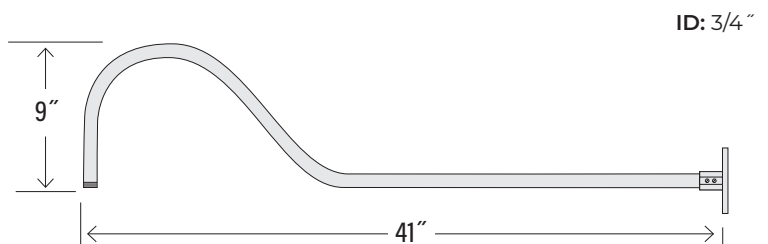
RGN23



RGN24



RGN30



RGN41

Goose Neck Finishes:



ABR
Architectural Bronze



AL
Aluminum



ASB
Aluminum Painted
Satin Black



CP
Copper



GA
Galvanized



GY
Gray



NB
Navy Blue



SB
Satin Black



SG
Satin Green



SR
Satin Red

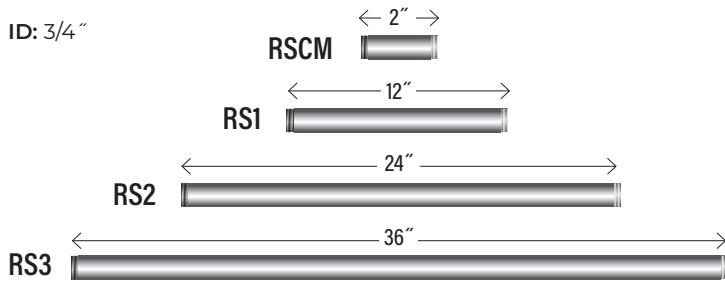


WH
White

OR CHOOSE A STEM AND CANOPY KIT (FOR CEILING MOUNT)

#5 - Choose A Stem & Canopy Kit

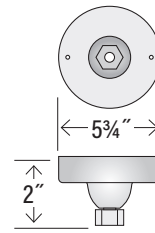
ID: 3/4"



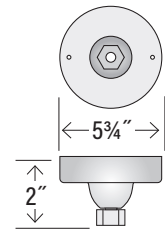
Finishes:

- | | |
|------------------------------------|---------------------|
| ABR • Architectural Bronze | NB • Navy Blue |
| AL • Aluminum | NC • Natural Copper |
| ASB • Aluminum Painted Satin Black | SB • Satin Black |
| CP • Copper | SG • Satin Green |
| GA • Galvanized | SR • Satin Red |
| GY • Gray | WH • White |

RSCK (25° Angle)



RSCKSS (45° Angle)



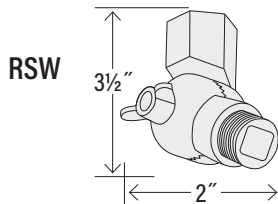
Finishes:

- | | |
|----------------------------|------------------|
| ABR • Architectural Bronze | SB • Satin Black |
| CP • Copper | SG • Satin Green |
| GA • Galvanized | SR • Satin Red |
| GY • Gray | WH • White |
| NB • Navy Blue | |

CHOOSE ACCESSORIES

#6 - CHOOSE OPTIONS

WALL MOUNT SWIVELS

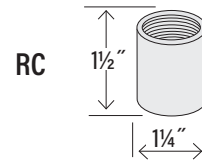


Finishes:

- | | |
|----------------------------|------------------|
| ABR • Architectural Bronze | SG • Satin Green |
| CP • Copper | SR • Satin Red |
| GA • Galvanized | WH • White |
| SB • Satin Black | |

STEM CONNECTORS

Accepts 3/4" stem

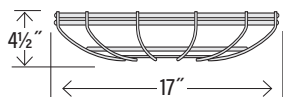


Finishes:

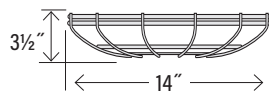
- | | |
|----------------------------|------------------|
| ABR • Architectural Bronze | NB • Navy Blue |
| AL • Aluminum | SB • Satin Black |
| CP • Copper | SG • Satin Green |
| GA • Galvanized | SR • Satin Red |
| GY • Gray | WH • White |

WIRE GUARDS

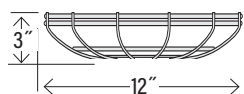
RWG17



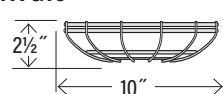
RWG14



RWG12



RWG10



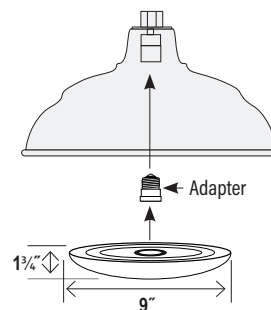
Finishes:

- | | |
|----------------------------|------------------|
| ABR • Architectural Bronze | NB • Navy Blue |
| AL • Aluminum | SB • Satin Black |
| CP • Copper | SG • Satin Green |
| GA • Galvanized | SR • Satin Red |
| GY • Gray | WH • White |

LED MODULE

RLED24W

This accessory is only compatible with RWHS14 & RWHS17 Warehouse Shades.

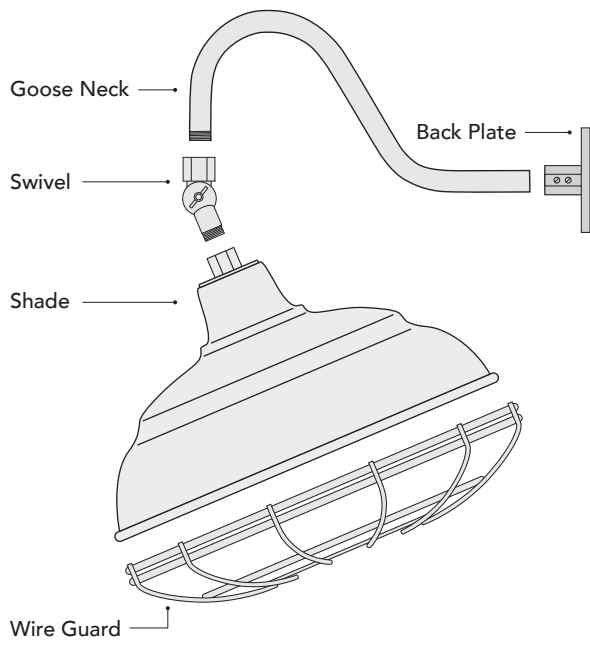


RLED24W

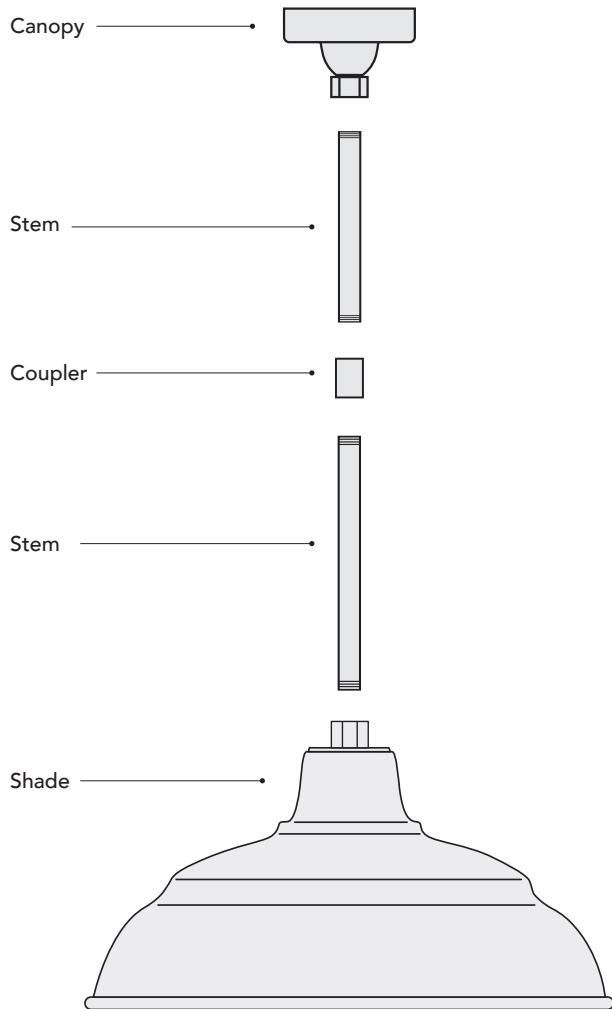
W: 9" x H: 1 1/4"

1920 Lumens
3000K
CRI 90
Dimmable

HOW TO ASSEMBLE WITH GOOSE NECK



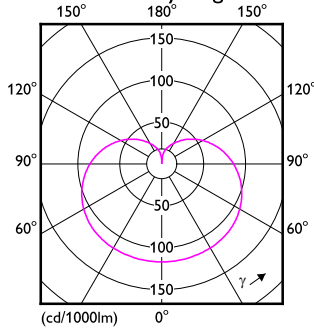
HOW TO ASSEMBLE WITH CANOPY



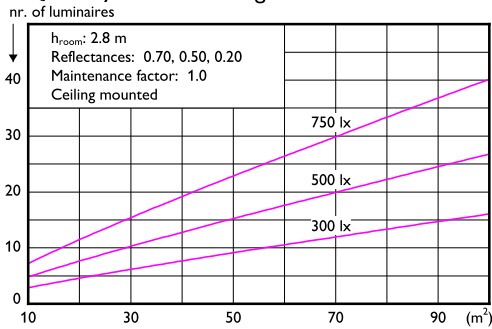
1 x 9290023430 29W A21 2700K

1 x 2610 lm

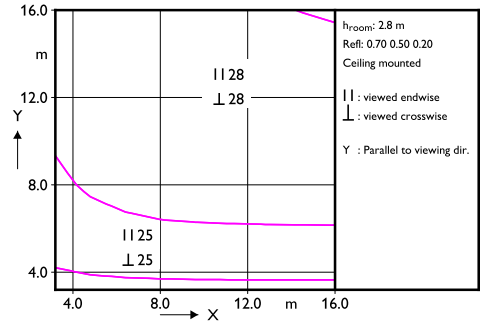
Polar intensity diagram



Quantity estimation diagram



UGR diagram



Light output ratio 1.00
 Service upward 0.34
 Service downward 0.66

CIE flux code 27 54 78 66 100

UGRcen (4Hx8H, 0.25H) 27

Utilisation factor table

Room Index k	Reflectances (%) for ceiling, walls and working plane (CIE)											
	0.80			0.70			0.50			0.30		
	0.80	0.80	0.30	0.70	0.70	0.30	0.50	0.50	0.10	0.30	0.30	0.00
0.60	0.36	0.34	0.30	0.33	0.32	0.25	0.22	0.17	0.19	0.15	0.11	
0.80	0.45	0.42	0.42	0.41	0.40	0.32	0.28	0.23	0.25	0.21	0.15	
1.00	0.53	0.49	0.49	0.48	0.46	0.38	0.34	0.29	0.30	0.25	0.19	
1.25	0.60	0.55	0.56	0.54	0.52	0.44	0.39	0.34	0.35	0.30	0.23	
1.50	0.67	0.60	0.62	0.59	0.57	0.49	0.44	0.39	0.39	0.34	0.27	
2.00	0.76	0.68	0.70	0.67	0.64	0.57	0.51	0.46	0.45	0.41	0.32	
2.50	0.82	0.73	0.76	0.72	0.69	0.62	0.56	0.51	0.49	0.45	0.36	
3.00	0.87	0.76	0.81	0.76	0.72	0.66	0.59	0.55	0.52	0.49	0.39	
4.00	0.94	0.81	0.87	0.81	0.77	0.72	0.64	0.60	0.57	0.54	0.44	
5.00	0.98	0.84	0.91	0.85	0.80	0.75	0.67	0.64	0.60	0.57	0.46	

Ceiling mounted

Luminance Table

Plane Cone	0.0	15.0	30.0	45.0	60.0	75.0	90.0
45.0	25177	22003	20388	19889	20388	22003	25177
50.0	24311	21083	19459	18961	19459	21083	24311
55.0	23612	20327	18693	18194	18693	20327	23612
60.0	22979	19640	17997	17497	17997	19640	22979
65.0	22468	19068	17411	16910	17411	19068	22468
70.0	22002	18539	16870	16367	16870	18539	22002
75.0	21635	18097	16410	15904	16410	18097	21635
80.0	21341	17716	16007	15497	16007	17716	21341
85.0	21121	17394	15657	15141	15657	17394	21121
90.0	20983	17133	15361	14838	15361	17133	20983

(cd/m²)

2019-12-04



MasterClass Plastic (WarmGlow) A-Shape Lamps

29A21/PER/827/FR/P/E26/WG/HO 4/1PF

Provides a wide variety of premium features, such as best-in-class warm glow dimmability, 25,000 hours long lifetime, and Title 20 certification, ideal for decorative and ambient lighting in high-end retail outlets, hotels, and restaurants.

Product data

General Information	
Cap-Base	E26 [Single Contact Medium Screw]
Nominal lifetime	15,000 hour(s)
Switching Cycle	50,000
Rated Lifetime (Hours)	15,000 hour(s)
Lighting Technology	LED

Light Technical	
Color Code	822-827 [tunable warm white]
Color Code	822-827 [tunable warm white]
Beam Angle (Nom)	250 degree(s)
Luminous Flux	2,610 lm
Color Designation	Warm Glow(WG)
Luminous Efficacy (rated) (Nom)	90 lm/W
Correlated Color Temperature (Nom)	2200 2700 K
Color Consistency	<6
Color rendering index (CRI)	80
LLMF At End Of Nominal Lifetime (Nom)	70 %

Operating and Electrical	
Input Frequency	60 Hz
Power Consumption	29 W
Lamp Current (Nom)	215 mA
Wattage Equivalent	150 W
Starting Time (Nom)	0.5 s
Warm-up time to 60% light	0.5 s
Power Factor (Fraction)	0.7
Voltage (Nom)	120 V

Temperature	
Ambient temperature range	-4 to +113 °F
T-Case Maximum (Nom)	212 °F

Controls and Dimming	
Dimmable	Only with specific dimmers

Mechanical and Housing	
Bulb Finish	Frosted

MasterClass Plastic (WarmGlow) A-Shape Lamps

Bulb Material	Plastic
Bulb Shape	A21
UL Wet/ damp/ dry location	Damp location

Approval and Application

EU RoHS compliant	Yes
EyeComfort	Yes
T20 compliant	N/A
LED Innovations	EyeComfort

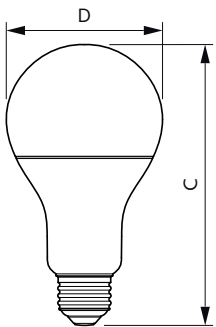
Application Conditions

can it be used in closed luminaires	No
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Product Data

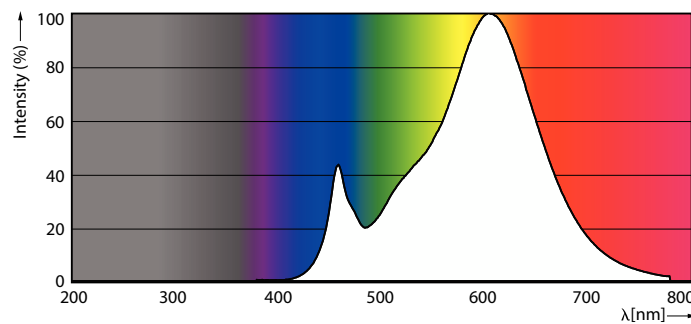
Order product name	29A21/PER/827/FR/P/E26/WG/HO 4/1PF
Full product name	29A21/PER/827/FR/P/E26/WG/HO 4/1PF
Order code	571497
Material Nr. (12NC)	929002343033
Numerator - Quantity Per Pack	1
Net Weight (Piece)	0.331 lb
EAN/UPC - Product/Case	046677571498
Numerator - Packs per outer box	4
EAN/UPC - Case	50046677571493

Dimensional drawing

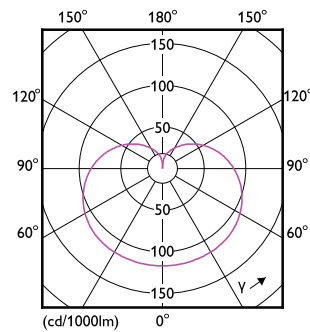


Product	D	C
29A21/PER/827/FR/P/E26/WG/HO 4/1PF	3-1/16 inch	5-7/16 inch

Photometric data



Spectral Power Distribution Colour - 29A21/PER/827/FR/P/E26/WG/HO 4/1PF



Light Distribution Diagram - 29A21/PER/827/FR/P/E26/WG/HO 4/1PF



STAFF REVIEW

Date: October 1st, 2024 **Meeting Date & Time:** Monday, October 14th, 2024 at 6:00 p.m.

To: Plan Commission, Village of Chenequa

From: Planning Department

Subject: Site Plan Review

Builder: Espire Homes

Owner: Daniel J Geenen

Location: 5964 N Oakland Road

Project Description: Remodel and Addition of Existing Dwelling

Zoning District: Residence District – Lot Abutting a Lake

	REQUIRED RES. DISTRICT		PROPOSED PROJECT	
LOT AREA:	4.5	acres	2.41	Acres
LOT WIDTH: AVERAGE	150	L.F. min.	139	L.F.
YARD SETBACKS: Side (East)	14.75	ft. min.	15	ft.
Lake (South)	75	ft. min.	130'	ft.
Back (North)	25	ft. min.	500+	ft.
Side (West)	14.75	ft. min.	19.25'	ft.
BUILDING HEIGHT:	35	ft. max	29.5	ft.

COMMENTS:

1. The applicant is proposing to do an addition/remodel the existing dwelling on the property.
2. The lot is “legal non-conforming” because it does not meet minimum acreage or average lot width requirements outlined in 6.5(5)(b) and 6.6 (1).
3. The dwelling on the property is currently legal-conforming.
4. The proposed addition portion of the dwelling have been noted on page 11 of provided plans.
 - a. The addition largely involves expanding the living space on the second floor of the home.

- b. There is only a small footprint expansion that is proposed on the north side of the home. This is to accommodate for a stairwell to the second story of the home and a new covered entry porch.
 - c. Including the addition, the total living area of this house will be 5,105 Square feet. This is a total area increase of approximately 250 square feet from what is existing.
 5. In conjunction with the addition portion, the applicant is proposing to remodel the existing dwelling.
 - a. Rendering, provided plans, notes and photo samples are provided in your packet to help depict what the exterior of the structure will look like.
 6. The final portion of this project involves the addition of a lakeside ground level deck.
 - a. The proposed deck is 1,260 square feet as proposed.
 - i. This deck includes a grill area (labeled as outdoor kitchen)
 1. This kitchen space does not have a sink or dishwasher only a grill/griddle combination.
 2. There is a proposed pergola proposed over the grill that will be 13'2" long and 10'9" tall.
 7. The applicant also proposes to replace all existing fixtures. The proposed new light fixtures have been provided in your packet for review.
 - a. The new proposed fixture is compliant with 5.24 (Outdoor lighting).
 8. The proposed project meets all other requirements of Village of Chenequa Zoning.
 9. A building permit is required from the Building Inspector prior to start of construction.
- c: Dan Neumer, Administrator
Deanna Braunschweig, Clerk/Treasurer
Paul Launer, Lake Country Inspections
Daniel Geenan, Owner
Espire Homes, Architect
Cody Lincoln, Zoning Administrator



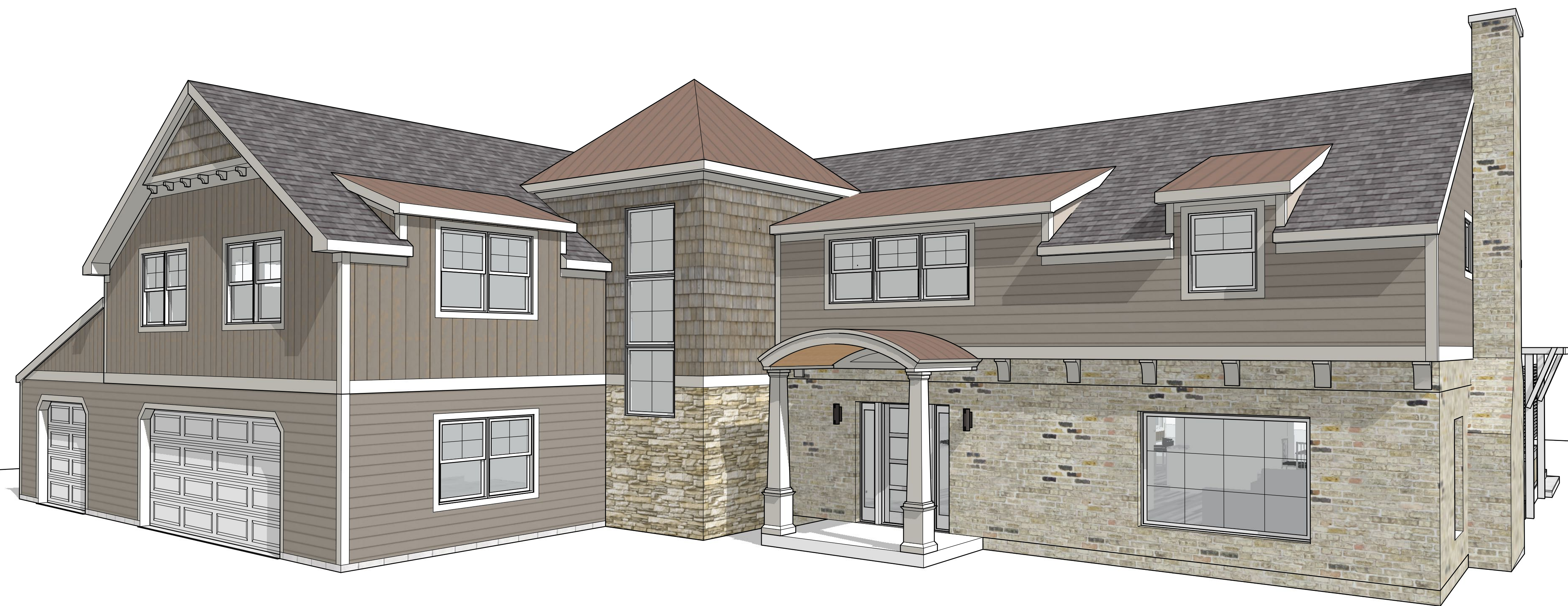
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WAUKESHA, WI 53154
414-333-0837
wellsdesign@me.com

09.06.24

Builder to verify project dimensions & materials,
and to ensure that all construction methods meet
local building codes. Appliances, products and
fixtures depicted may not match final selections.



5964 Oakland Road

whole-house remodel

site plan	2
1st floor - as-built	3
1st floor - v3	4
2nd floor - as-built & v3	5
basement plans - as-built & v3	6
1st floor - electrical	7
2nd floor - electrical	8
interior elevations - 1st floor	9
interior elevations - 2nd floor	10
exterior elevations - as-built	11
exterior elevations - v3	12
exterior elevations - v3	13
interior perspectives	14
exterior perspectives	15
construction details	16

Carol & Dan Geenen
5964 Oakland Road
Hartland, WI 53029

Geenen - whole-house remodel

page

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CONCEPTUAL PLANS - NOT FOR CONSTRUCTION
All dimensions are approximate



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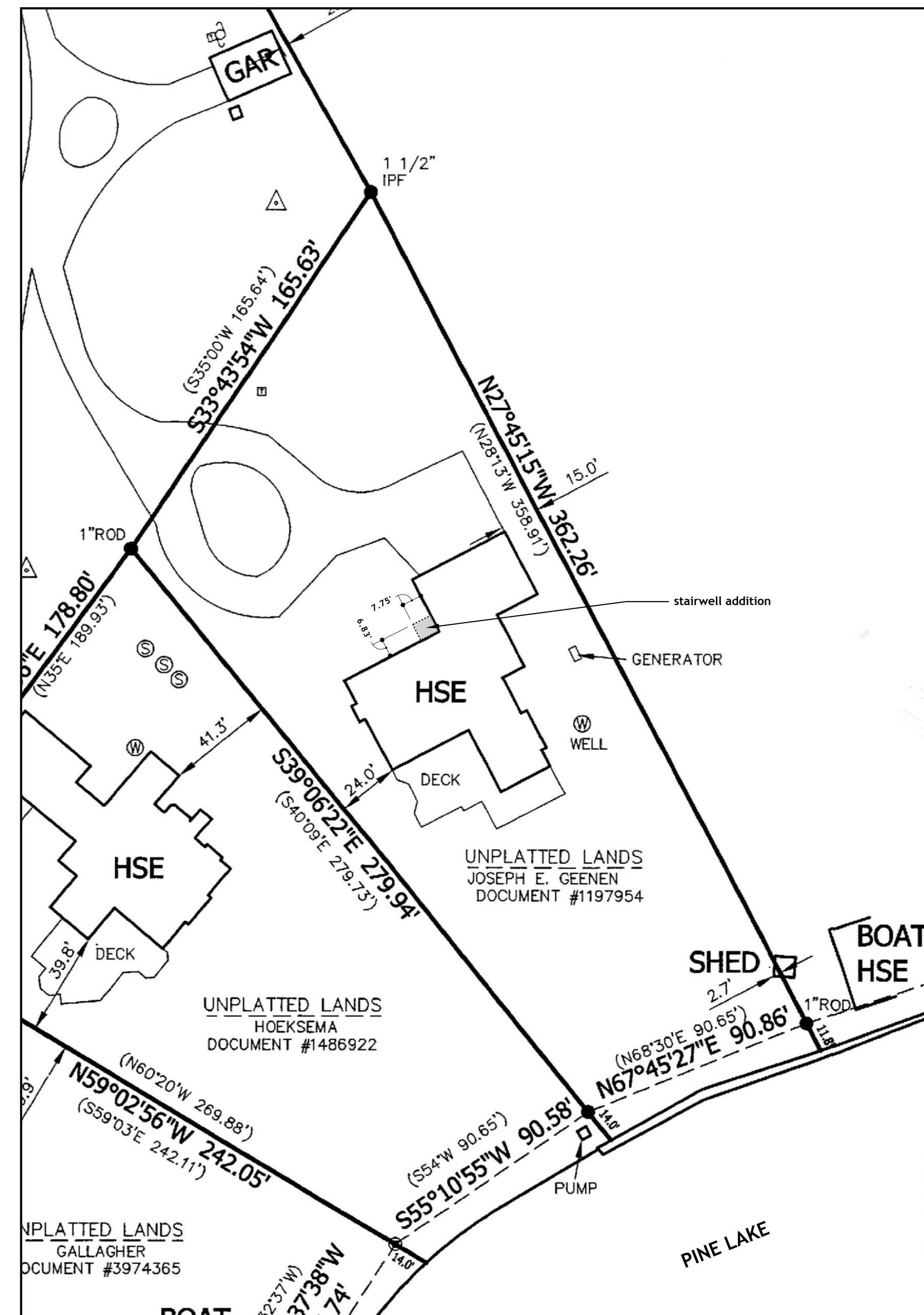
Builder to verify project dimensions & materials, and to ensure that all construction methods meet local building codes. Appliances, products and fixtures depicted may not match final selections.

Carol & Dan Geenen
5964 Oakland Road
Hartland, WI 53029

Geenen - whole-house remodel
site plan
scale: 1" = 30'

page

16



site plan
scale: 1" = 30'

CONCEPTUAL PLANS - NOT FOR CONSTRUCTION
All dimensions are approximate



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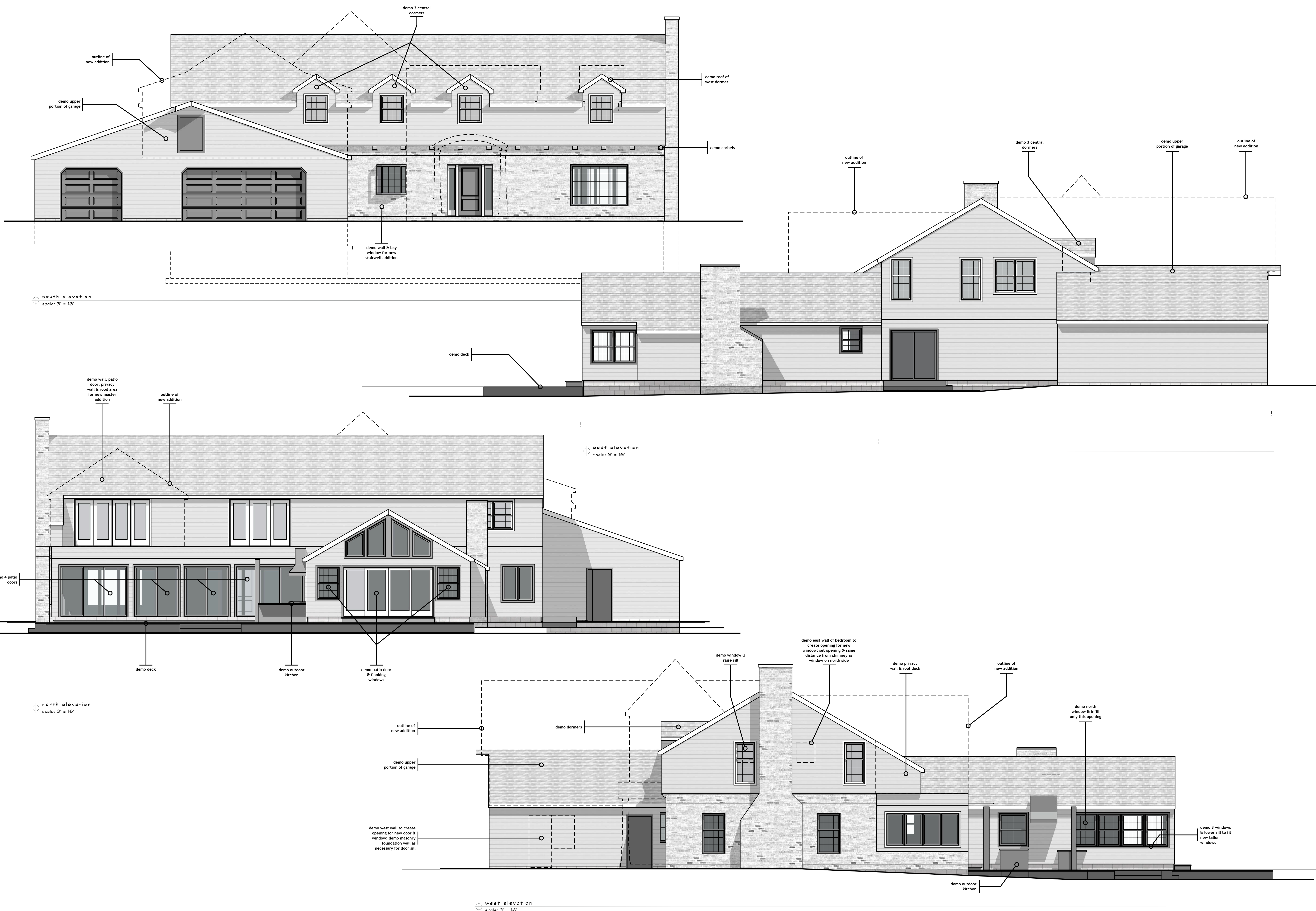
Builder to verify project dimensions & materials, and to ensure that all construction methods meet local building codes. Appliances, products and fixtures depicted may not match final selections.

Carol & Dan Geenen
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Hartland, WI 53029

Geenen - whole-house remodel
exterior elevations - as-built
scale: 3" = 16'

page

1116



CONCEPTUAL PLANS - NOT FOR CONSTRUCTION
All dimensions are approximate



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Builder to verify project dimensions & materials, and to ensure that all construction methods meet local building codes. Appliances, products and fixtures depicted may not match final selections.

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Hartland, WI 53029

Geenen - whole-house remodel
exterior elevations - V3
scale: 1" = 4'

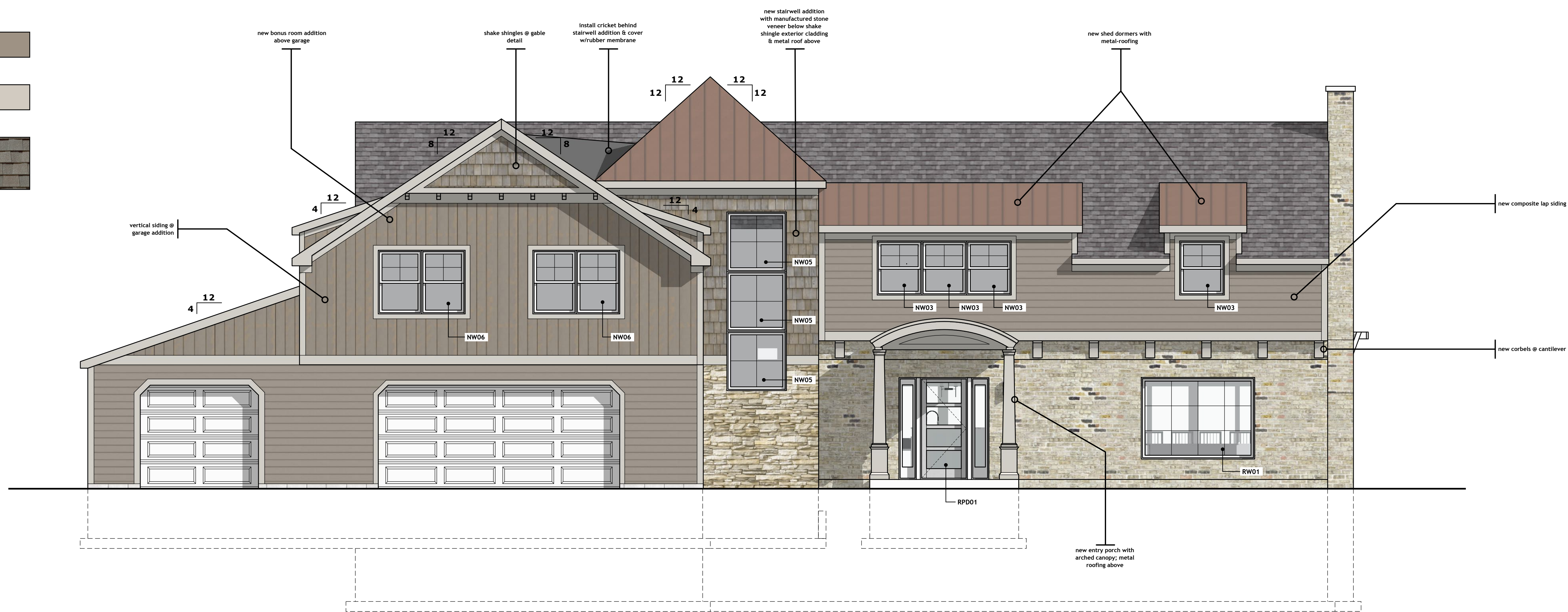
page

12/16

field: Sherwin Williams
SW 7504 Keystone Gray

trim: Sherwin Williams
SW 7029 Agreeable Gray

shingles: CertainTeed Landmark
Weathered wood

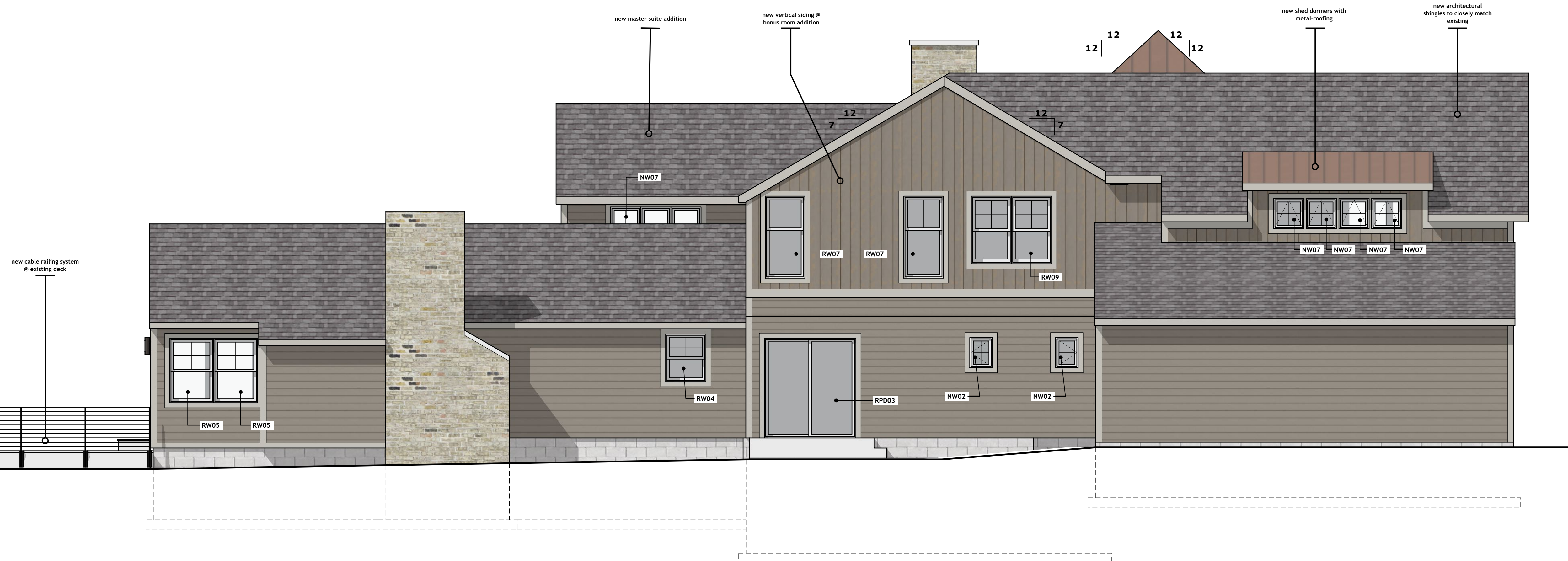


north elevation
scale: 1" = 4'

Door & Window Schedule				
Label	Description	Size	Swing	Qty
doors				
ND01	new 3-panel door	2868	LH	5
ND02	new 3-panel door	2868	RH	4
ND03	new 3-panel door	3068	LH	2
ND04	new 3-panel door	3068	RH	1
ND05	new 3-panel french door w/ (2) @ 30" w	5068	French	1
ND07	new 3-panel pocket door	2868	pocket	1
ND08	new bypass 3-panel door w/ (2) @ 36" w	6068	bypass	3
ND10	new 3-panel door	2668	RH	2
ND11	new glass-panel French door	6068	French	1
ND12	new opposed pocket door w/ 2 @ 24" w	4068	pocket	1
ND13	new bi-fold 2-panel door w/ (4) @ 16" w	5468	bi-folds	1
ND14	new 4-panel garage service door	6068	LH	1
NPD01	center-open sliding doors	12068		2
NPD02	new sliding patio door	9068		2
RD01	replacement door	2868	LH	1
RD02	replacement door	2868	RH	1
RD03	replacement 4-panel entry door	3068	LH	1
RPD02	replacement French patio door	8063	RH	1
RPD03	replacement sliding patio door	6068		1
windows				
NW01	new DH cottage sash	3054		3
NW02	new awning window	1620		2
NW03	new DH	3036		4
NW05	new fixed w/awning option	4040		3
NW06	new DH twin-mull	6046		5
NW07	new awning window	2020		10
NW08	casement twin-mull	6050		2
NW09	new awning window	2626		2
RW01	replacement picture window	7656		1
RW02	replacement DH cottage sash	3054		2
RW03	replacement 4-mull casement	9644		1
RW04	replacement DH	2830		1
RW05	replacement DH	3044		2
RW06	replacement casement twin-mull	4046		1
RW07	replacement DH cottage sash	2656		4
RW09	replacement DH twin-mull	5446		1
RW10	replacement twin-mull DH	5439		1
RW11	replacement 1-panel glass sidelight	1268		2
RW12	replacement trapezoid fixed	2636		1
RW13	replacement trapezoid fixed	2650		1
RW14	replacement trapezoid fixed	2650		1
RW15	replacement trapezoid fixed	2636		1

note: replacement window & door sizes are approximate - field measure to verify fit into existing openings

east elevation
scale: 1" = 4'



CONCEPTUAL PLANS - NOT FOR CONSTRUCTION
All dimensions are approximate



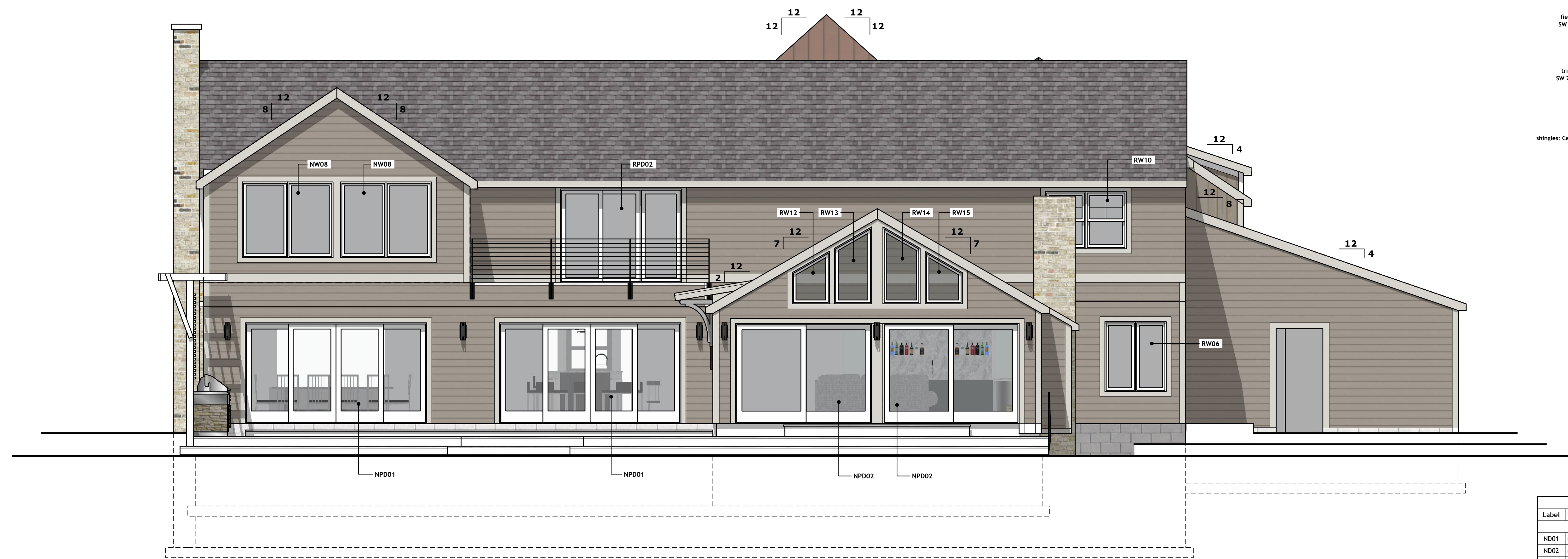
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RESIDENTIAL REMODELING SOLUTIONS

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09.06.24

Builder to verify project dimensions & materials, and to ensure that all construction methods meet local building codes. Appliances, products and fixtures depicted may not match final selections.



South elevation
scale: 1" = 4'

field: Sherwin Williams
SW 7504 Keystone Gray

trim: Sherwin Williams
SW 7029 Agreeable Gray

shingles: CertainTeed Landmark
Weathered wood

Door & Window Schedule				
Label	Description	Size	Swing	Qty
doors				
ND01	new 3-panel door	2868	LH	5
ND02	new 3-panel door	2868	RH	4
ND03	new 3-panel door	3068	LH	2
ND04	new 3-panel door	3068	RH	1
ND05	new 3-panel french door w/(2) @ 30"w	5068	French	1
ND07	new 3-panel pocket door	2868	pocket	1
ND08	new bypass 3-panel door w/(2) @ 36"w	6068	bypass	3
ND10	new 3-panel door	2668	RH	2
ND11	new glass-panel French door	6068	French	1
ND12	new opposed pocket door w/2 @ 24"w	4068	pocket	1
ND13	new bi-fold 2-panel door w/ (4) @ 16"w	5468	bi-folds	1
ND14	new 4-panel garage service door	6068	LH	1
NPD01	center-open sliding doors	12068		2
NPD02	new sliding patio door	9068		2
windows				
NW01	new DH cottage sash	3054		3
NW02	new awning window	1620		2
NW03	new DH	3036		4
NW05	new fixed w/awning option	4040		3
NW06	new DH twin-mull	6046		5
NW07	new awning window	2020		10
NW08	casement twin-mull	6050		2
NW09	new awning window	2626		2
RW01	replacement picture window	7656		1
RW02	replacement DH cottage sash	3054		2
RW03	replacement 4-mull casement	9644		1
RW04	replacement DH	2830		1
RW05	replacement DH	3044		2
RW06	replacement casement twin-mull	4046		1
RW07	replacement DH cottage sash	2656		4
RW09	replacement DH twin-mull	5446		1
RW10	replacement twin-mull DH	5439		1
RW11	replacement 1-panel glass sidelight	1268		2
RW12	replacement trapezoid fixed	2636		1
RW13	replacement trapezoid fixed	2650		1
RW14	replacement trapezoid fixed	2650		1
RW15	replacement trapezoid fixed	2636		1

note: replacement window & door sizes are approximate -- field measure to verify fit into existing openings



West elevation
scale: 1" = 4'

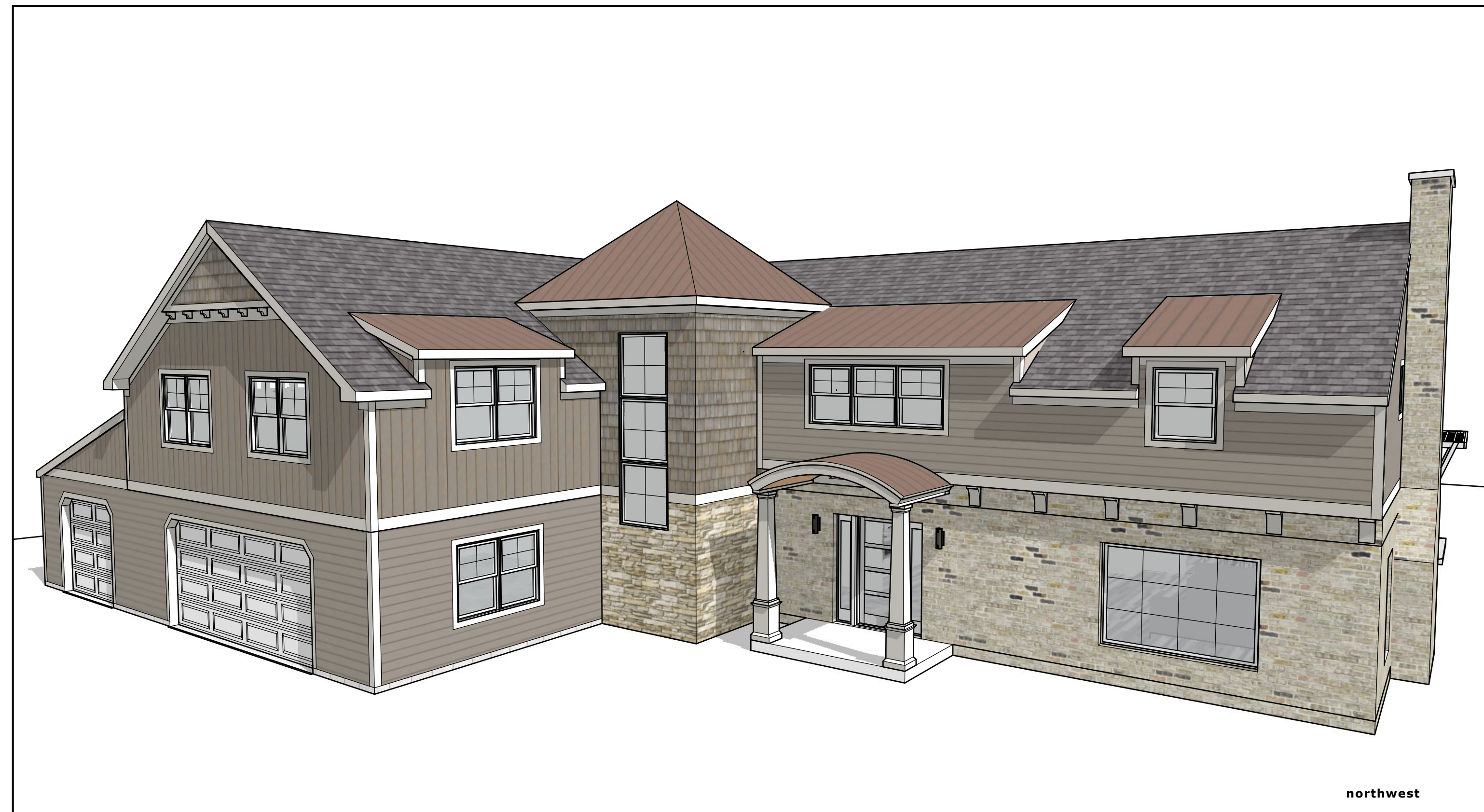
CONCEPTUAL PLANS - NOT FOR CONSTRUCTION
All dimensions are approximate

Carol & Dan Geenen
5964 Oakland Road
Hartland, WI 53029

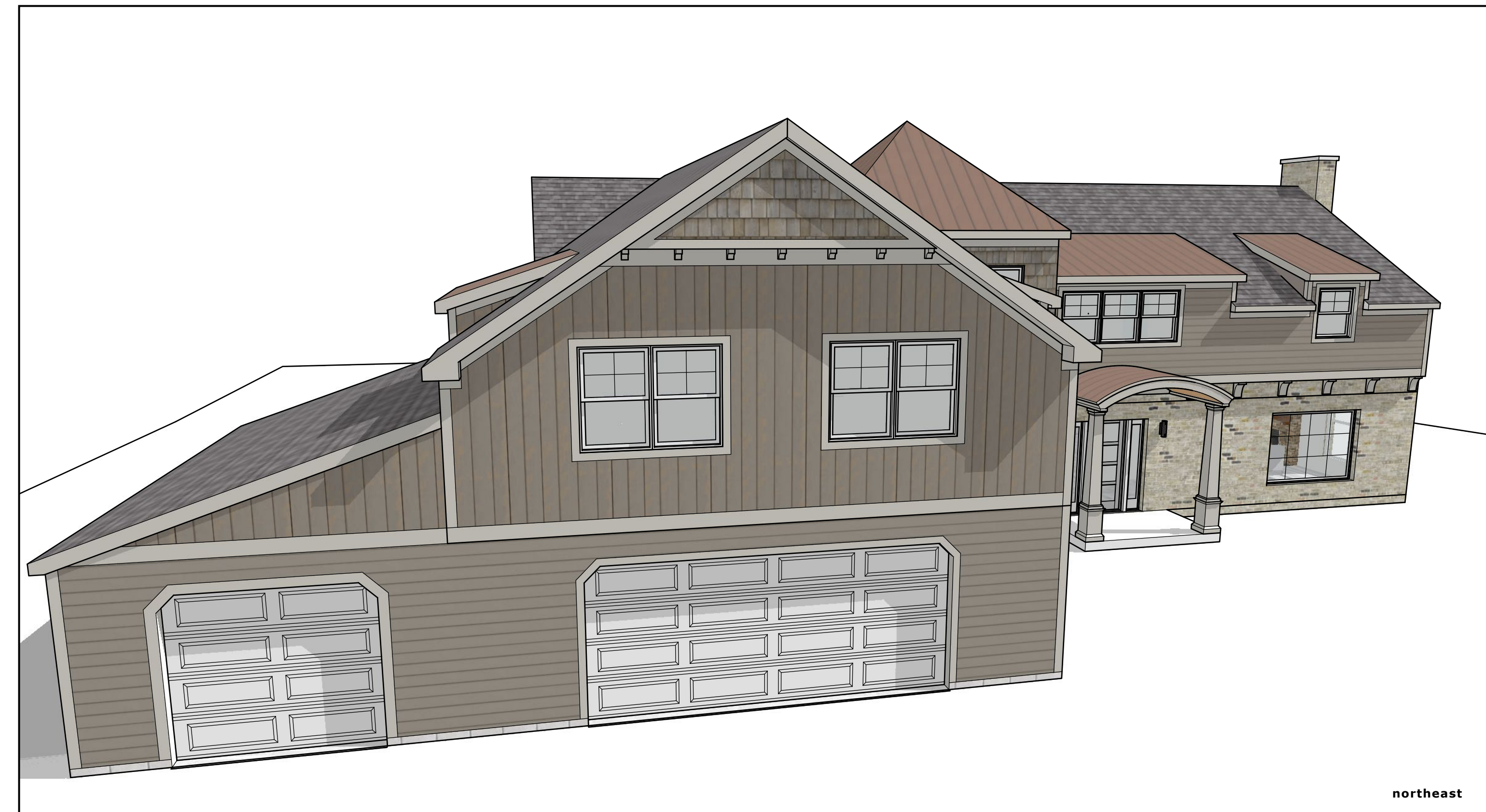
Geenen - whole-house remodel
exterior elevations - v3
scale: 1" = 4'

page

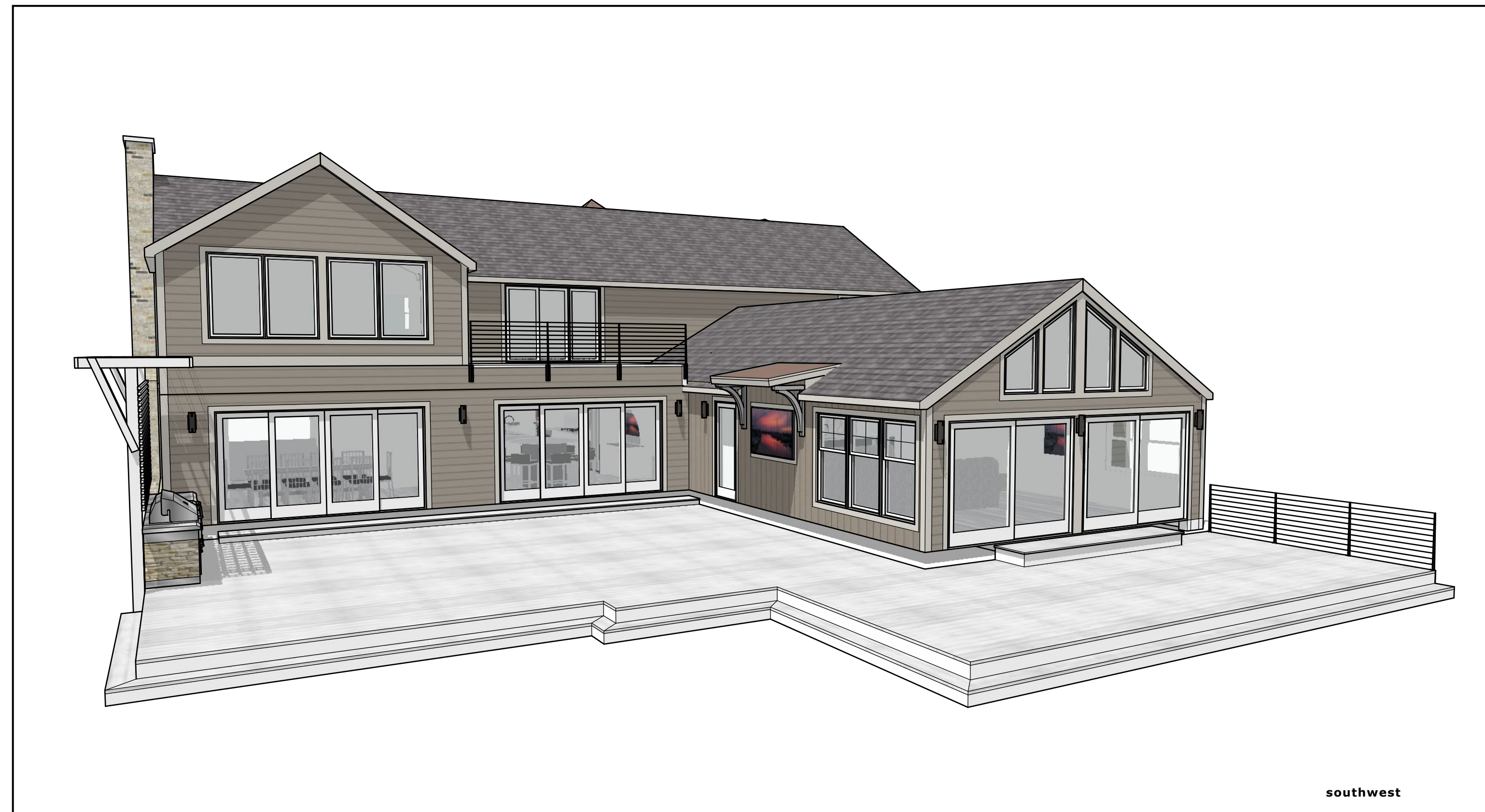
13/16



northwest



northeast



southwest



southeast

SHAKES



243-C1

243-C4

SW 7029
Agreeable Gray

SW 7504
Keystone Gray





- Show Layers
- Search Address
- Search by TaxKey
- Search Plats
- Plat of Survey Search
- Find a Park
- Search Qtr Section
- Identify

- Map Layers
- Clear Highlight
- Clear Markup
- Help

- Parcels
- Districts
- Environmental
- Floodplains
- Land Use
- Parks and Open Spaces
- Soils
- Survey Control System
- Topography
- Transportation
- Water Features
- ZoningCountyShoreland
- Zoning (Village and Town)
- Base Maps
 - Parcel Base Map
 - General Purpose Base Map
 - Parcels (Black and White)
 - 2022 Aerial Photo





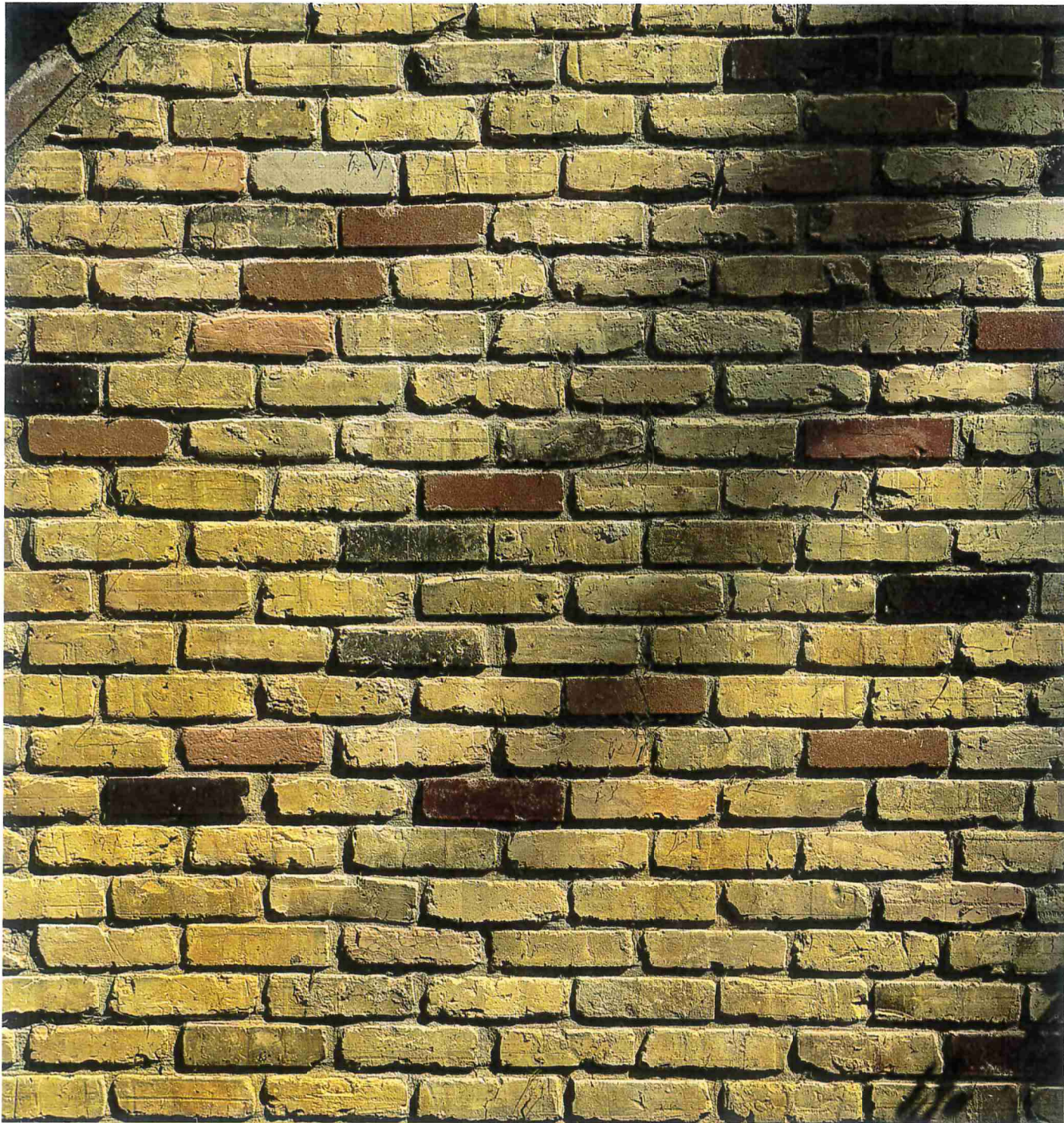














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414-933-0808
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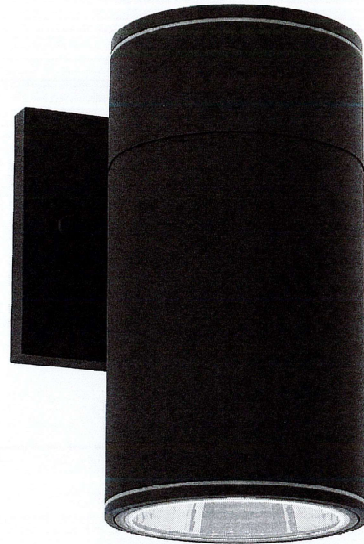


sales@bbclighting.com



LED Outdoor Wall Sconce

Comment: LED outdoor wall sconce



Item ID: **9589193**
MFG #: **EVYW070410LAJMBK**
Manufacturer: **AFX Lighting**
Finish: **Black**
Collection: **Everly**
Width: **4.50"**
Height: **8.00"**
Length: **7.00"**



Outdoor wide cylinder LED wall mount. Aluminum construction. Clear glass diffuser. Three adjustable CCT switch. Available single or dual light and two finishes.

Bulbs

Voltage: 120 V

Qty.	Type	Base	Watt	Incl.	Source	LM.	CCT	CRI	Avg.Life	Dim	Beam
-	LED	-	-	-	LED	1000.00 lm	3000 K	90 CRI	50,000	-	-

Details

Safety Listing: **cETLus**
Safety Rating: **Wet**

Connection: **Hardwire**
Manufacturer Warranty: **5 Year Limited**



ITM. / ART. 2327691

12-BURNER ISLAND GRILL

Installation Instructions and Use & Care Guide

Missing Parts / Questions / Issues

For assistance with parts, assembly, installation, etc. Please call: **1-866-984-7455**
Languages spoken: English, French, Spanish 8 a.m.-5 p.m., PST. Monday-Friday.

Costco Member Service Number: 1-800-774-2678
Operating hours 8 a.m.-5 p.m., PST. Monday-Friday.
www.costco.com

ASADOR EN ISLA DE 12 QUEMADORES

Instrucciones de instalación y guía de uso y cuidado

Piezas faltantes / Preguntas / Problemas

Para obtener asistencia sobre piezas, montaje, instalación, etc. Por favor, llame al: **1-866-984-7455**
Idiomas hablados: Inglés, francés, español 8 a.m.-5 p.m., PST. De lunes a viernes.

Número de atención para miembros de Costco: **1-800-774-2678**
Horario de atención 8 a.m.-5 p.m., PST. De lunes a viernes.
www.costco.com



19001020A0

IMPORTANT, RETAIN FOR FUTURE REFERENCE: READ CAREFULLY.
IMPORTANTE, CONSERVE PARA FUTURA REFERENCIA: LEA ATENTAMENTE.

FOR OUTDOOR USE ONLY. NOT FOR COMMERCIAL USE.
SOLO PARA USO EN EXTERIORES. NO ES PARA USO COMERCIAL.

860-0031



STAFF REVIEW

Date: October 1st, 2024

Meeting Date & Time: Monday, May 9th at 6:00 P.M.

To: Plan Commission, Village of Chenequa

From: Planning Department

Subject: Site Plan Review

Engineer: Roth Professional Solutions

Owner: Samuel and Susan Ristich

Location: 6200 N Oakland Hills Road

Project Description: Proposed Recreational Pond

Zoning District: Residence District

	REQUIRED RES. DISTRICT		PROPOSED PROJECT	
LOT AREA:	5	acres	8.22	acres
LOT WIDTH: AVERAGE	200	L.F. min.	600	L.F.

COMMENTS:

1. The applicant is proposing to install a .15 acre synthetically- lined pond on his property
2. The proposed pond is intended to be used for “aesthetic purpose and recreational use”
3. As proposed, the pond will be 9’ deep at the deepest point. The intention is to use a natural depression that exists on the property.
 - a. A wetland delineation was conducted, this depression is not a wetland.
4. Due to the topography, there is no offsite runoff anticipated by Roth Professional Solutions.
5. The entire land disturbance area will be approximately 1/3 of an acre (13,575 Square feet).
 - a. Much of this area is currently forested, these trees will have to be removed within

much of the area that is proposed to be graded.

6. In total; 489.53 cubic yards of soil will be “cut” and 674.26 cubic yards are required as a “fill”. There is a net fill of 184.73 cubic yards of soil.
7. At the nearest point, the disturbance area is approximately 57.5’ from Esker Lane. The expected high-water mark of the pond will be roughly 78’ from Esker Lane and 63’ from the southern property boundary.
8. Per section 5.17 and 5.18 land disturbance activities must follow the plan as outlined in the package provided by Roth Professional Solutions. Additionally, a grading permit is required from the Zoning Administrator prior to start of construction.
9. The DNR has reviewed the plans provided by Roth Professional Solutions.
10. If one acre or more of land is to be disturbed, a DNR land disturbance permit shall be obtained at least fourteen (14) days prior to beginning of construction.

c: Dan Neumer, Administrator
Deanna Braunschweig, Clerk/Treasurer
Cody Lincoln, Zoning Administrator
Robert Roth, Project Engineer
Samuel and Susan Ristich, Owner

September 2, 2024

Village of Chenequa
Plan Commission

RE: PLAN COMMISSION REVIEW REQUEST
Tax Key: CHQV 0402993
Samuel M. Ristich and Susan L. Ristich
6200 N Oakland Hills Rd.
Nashotah, WI 53058

Dear Plan Commission:

BACKGROUND & INTRODUCTION

This cover letter provides a summary of the proposed pond by Samuel and Susan Ristich in order to provide their property with aesthetic and recreational use. The project is slated to begin as soon as permit approval is granted to take advantage of current weather trends.

EXISTING SITE

Samuel and Susan Ristich's residential property is located in the north westerly portion of Village, between Moose Lake and Pine Lake. The total parcel is 8.2288 acres.

Soils: Available data indicates the presence of Casco loam, Casco-Rodman, and St. Charles silt loam within the project site. Casco loam are found with 6-12% slopes and not prime farmland. Casco-Rodman complex profiles are primarily found in well to excessively drained areas with 12-20% slopes and include both Casco and Rodman soils types. St. Charles silt loam are gravelly substratum with 2-6% slope and are prime farmland.

Wetlands: According to the Wisconsin Department of Natural Resources, there is a NRCS wet spot on the southwest side of the property. The spot will not be disturbed as it is between Esker Lane and the proposed pond.

PROPOSED USE

The project is to create a 0.15 acre synthetically- lined landscape pond for aesthetic purposes and recreational use. Once the project area has been excavated, a liner will be placed to retain water for the pond. The pond has been designed to maintain maximum water depth of 9 feet. In addition, the entire project site is within a natural depression. There is no anticipated offsite runoff expected as the perimeter of the entire site will remain as a vegetated buffer. Soils from excavation will be graded around the pond and kept on site.

PROPOSED LAND DISTURBING ACTIVITIES

The pond will be dug with side slopes of 3:1 from top to bottom. There will be approximately 40-ft wide of 5:1 slope on the east side of the pond for easier access after construction. The slope will vary tying into the existing grade to keep the 4-ft berm 1-ft vertically above the tie-in perimeter. Total maximum depth will be capped at 10-ft. All excavated material is planned to remain on site.

Topsoil will be scraped and temporarily stockpiled on the north portion of the project. Existing grade will be increased around the proposed pond to maintain a water elevation of 936.00 ft. Upon final grading all topsoil will be redistributed across the site, seeded with a residential lawn mixture, and erosion mat placed in areas of steeper slope, including on top of the berms. Please see the attached grading plan for existing and proposed contours, length and width cross sections, and design. Pre-existing soils on site, including top soil, will be used for final grade and seeding. Altered contours will follow current stormwater drainage patterns on the property to minimize potential change in flow or drainage.

Land disturbing activities will include:

- Erosion control facilities
- Topsoil removal and stockpiling
- Storm sewer connection and new storm line construction
- Earthwork related to general grading
- Gravel placement
- Trenching and light pole installation

REQUIRED EROSION CONTROL MEASURES

Initial land disturbance activities will be grading the proposed pond layout followed by pond excavation and final site grading. The proposed land disturbance will result in 13,575 sq-ft of project area. The entire site is internally drained and will result in virtually no offsite flow. A stone tracking pad will be installed and utilized at the main construction entrance to the site. Any offsite tracking will be cleaned up daily. Excavated spoils will remain on site and be used to grade the pond.

Erosion mat blankets will be placed on all sides of the pond. Please see the attached grading plan for further details. Upon completion of final grading all areas will be seeded with a general residential lawn seed mixture.

Erosion control measures will include:

1. Install Silt Fence in accordance with Plan, install rock construction entrance in accordance with Details
2. Remove topsoil and stockpile upstream of EC measures, or install silt log around downslope of topsoil stockpiles
3. Minimize any excavation into public right-of-way
4. Maintain vegetative buffer
5. Grading, gravel placement to be completed prior to frost conditions.



PROPOSED CONSTRUCTION SCHEDULE

1. Install erosion control devices - September 23rd, 2024
2. Excavate project area and grade to desired contours – September 23rd, 2024 (1-2 days)
3. Fill pond with delivered water – October 2024
4. Final site prep and seeding – Spring, 2025
5. Project Completion – Spring, 2025

CONCLUSION

The proposed site has been designed to minimize the amount of erosion from associated construction activities and impact to nearby lands. Erosion control actions proposed are erosion mats and cleaning of any equipment and tracking prior to removal from the site.

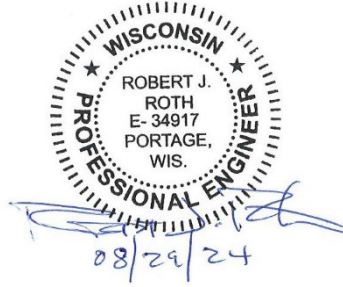
Samuel M. Ristich is scheduled to sign the Plan Commission Review Application and deliver the required fees in the upcoming week. Thank you for your review and consideration.

Respectfully Submitted,

ROTH PROFESSIONAL SOLUTIONS



Robert J. Roth, PE
Project Engineer



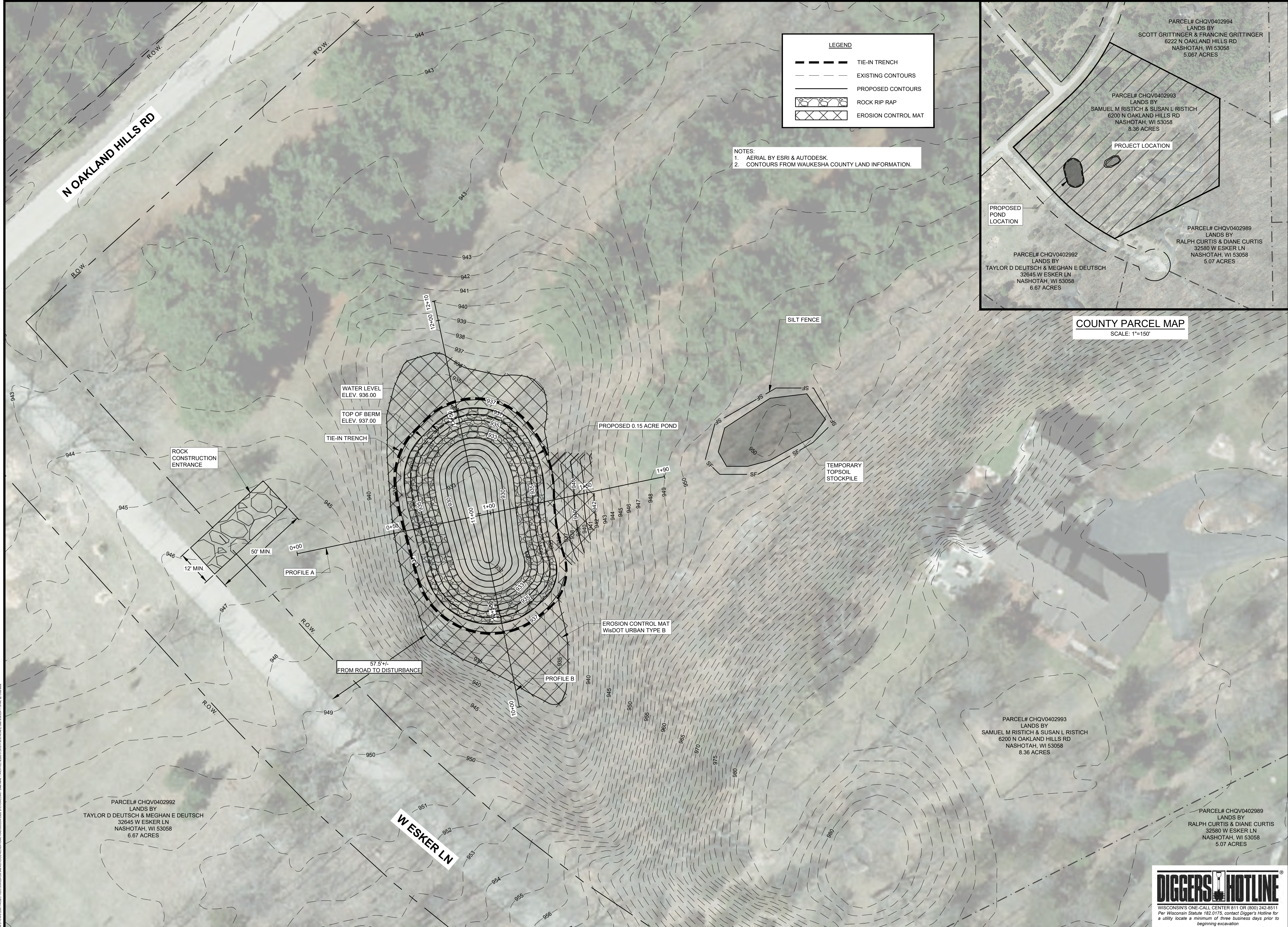
Enclosures:

- Site Grading & Erosion Control Plan (1 page)
- Pond Profiles (1 page)
- Site & Erosion Control Specs (1 page)
- Plan Commission Review Application (2 pages)

cc: Samuel M Ristich and Susan L Ristich

Via Email Delivery

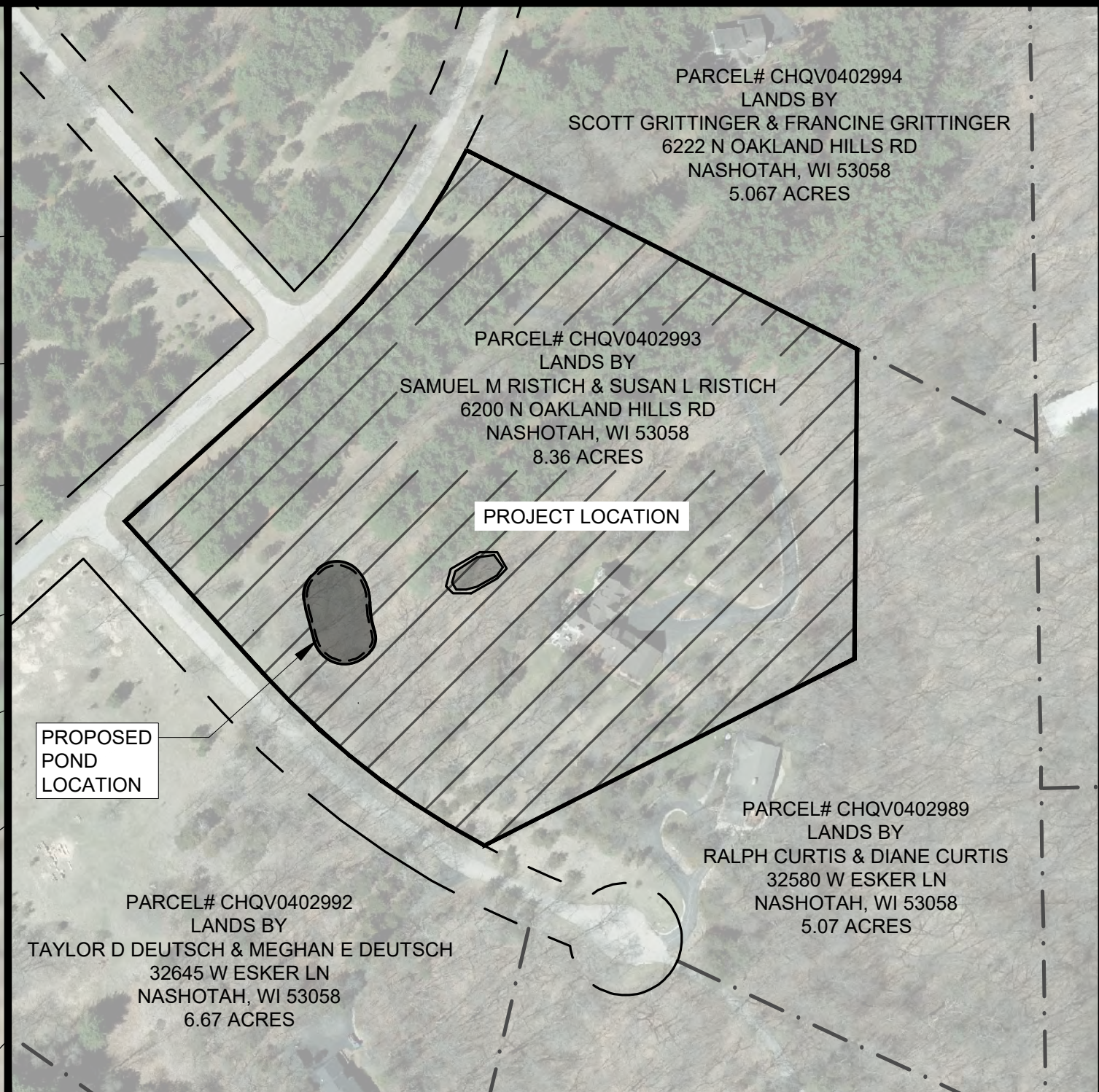




LEGEND

---	TIE-IN TRENCH
- - -	EXISTING CONTOURS
—	PROPOSED CONTOURS
[Rock Rip Rap Pattern]	ROCK RIP RAP
[Erosion Control Mat Pattern]	EROSION CONTROL MAT

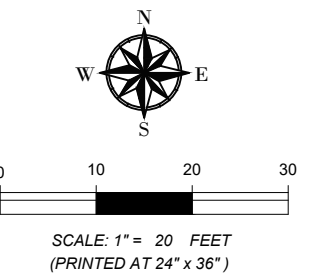
NOTES:
 1. AERIAL BY ESRI & AUTODESK.
 2. CONTOURS FROM WAUKESHA COUNTY LAND INFORMATION.



COUNTY PARCEL MAP
 SCALE: 1"=150'

PRELIMINARY
 NOT FOR CONSTRUCTION

SUBMITTED TO:
 XXXX
 XX/XX/XXXX



PROJECT NO: 2024-206(A)

DATE: xx/xx/xxxx

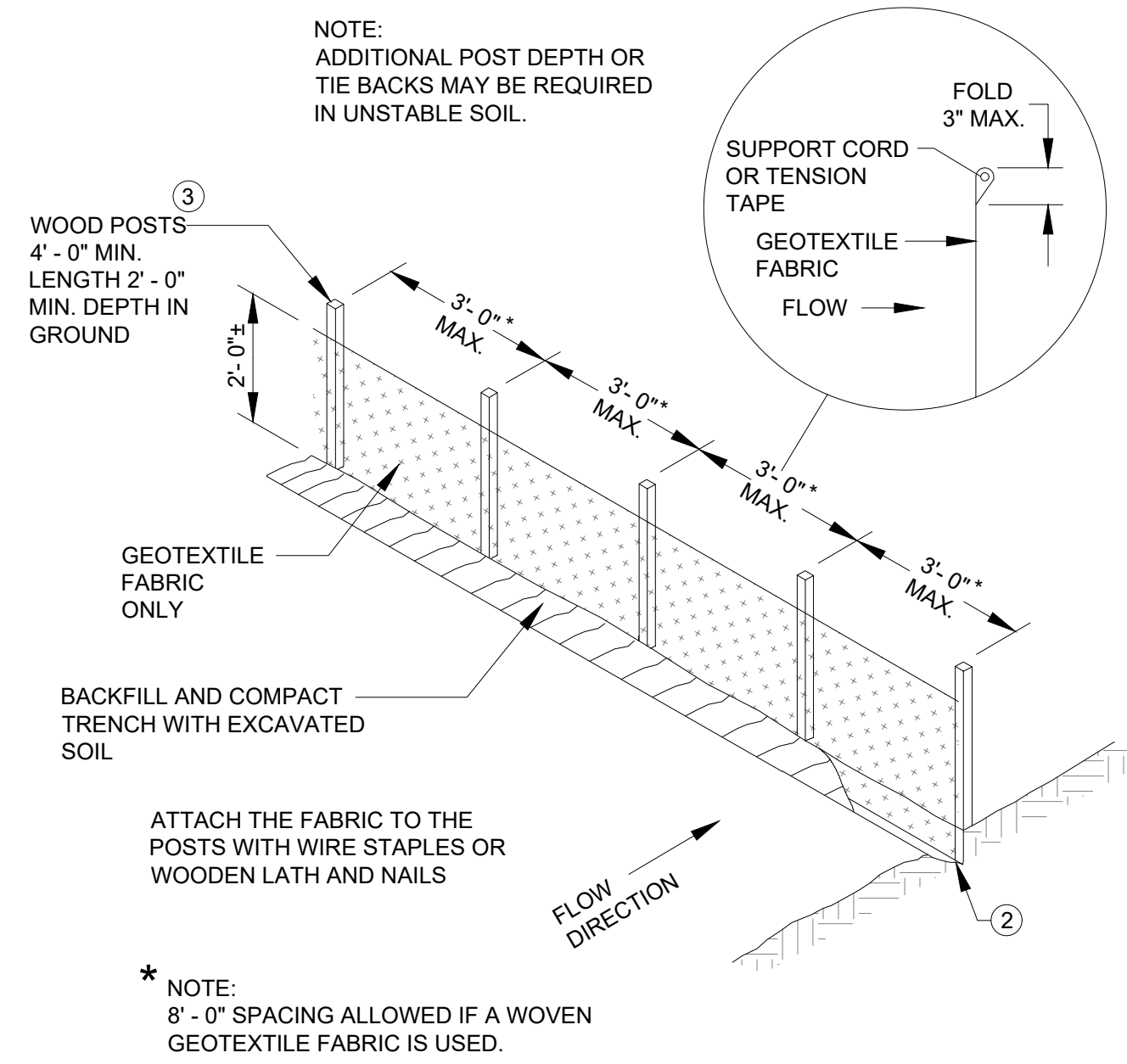
DESIGNED BY: RJR

DRAWN BY: CSM

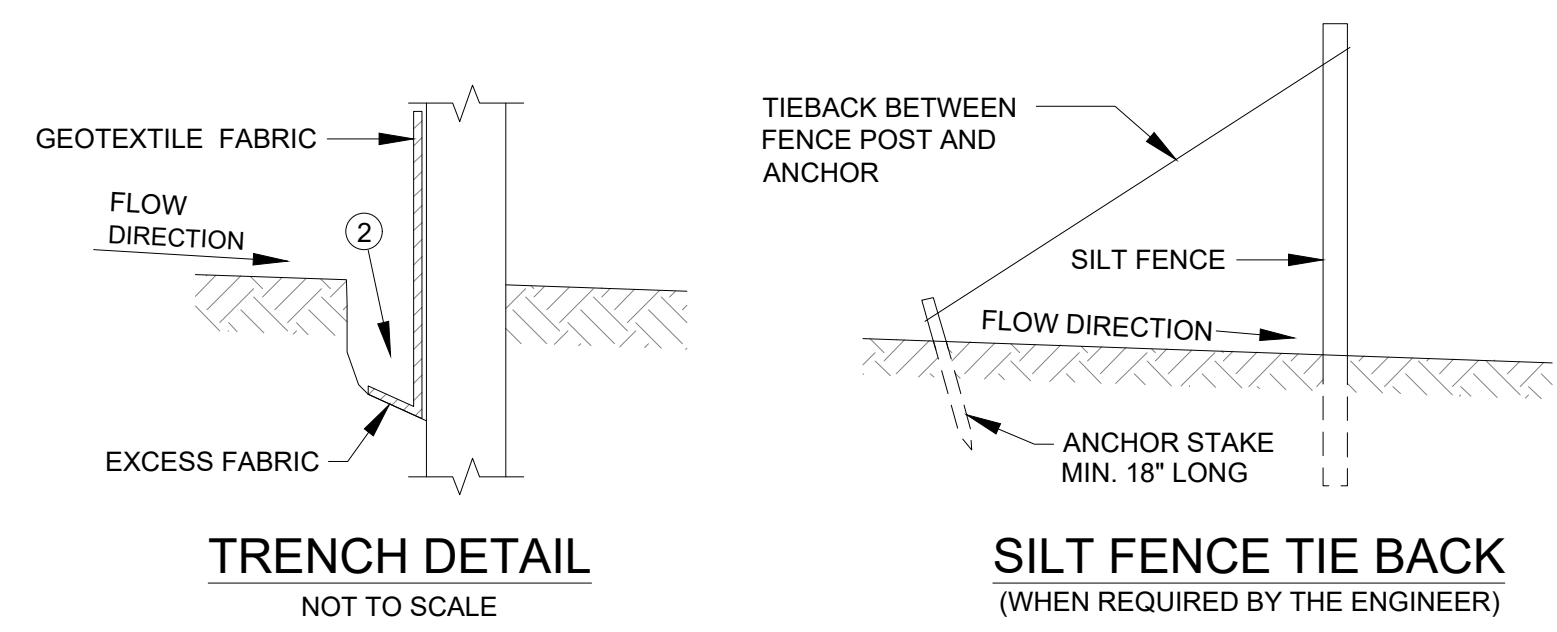
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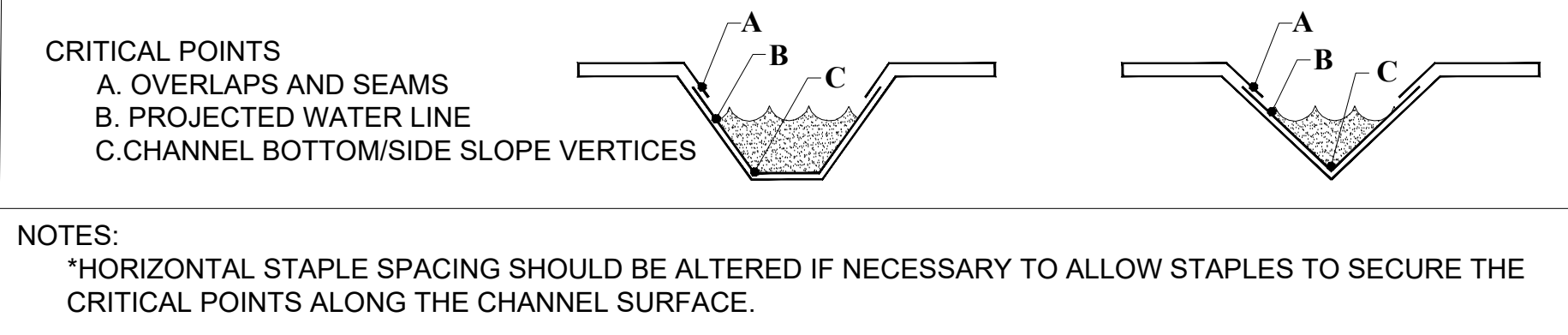
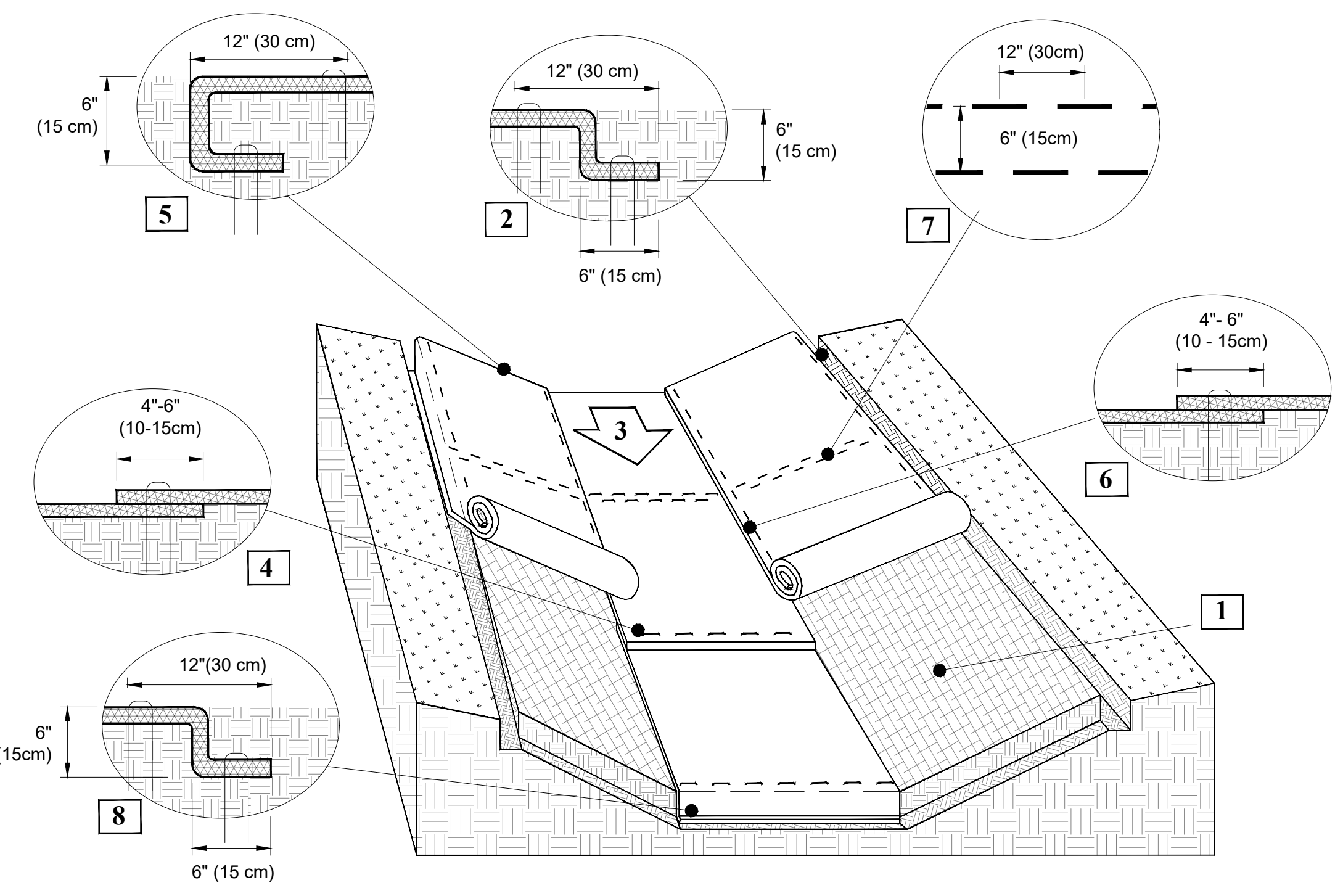
2024-08-28 10:45:00 AM EST. All rights reserved. This drawing is the property of RPS and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of RPS.



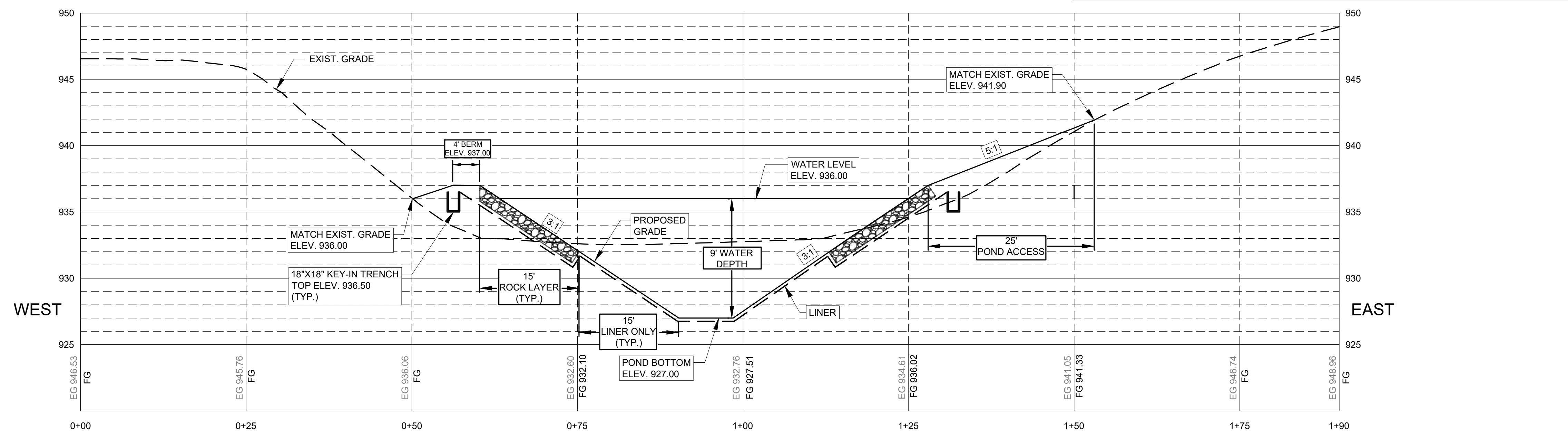
SILT FENCE
NOT TO SCALE



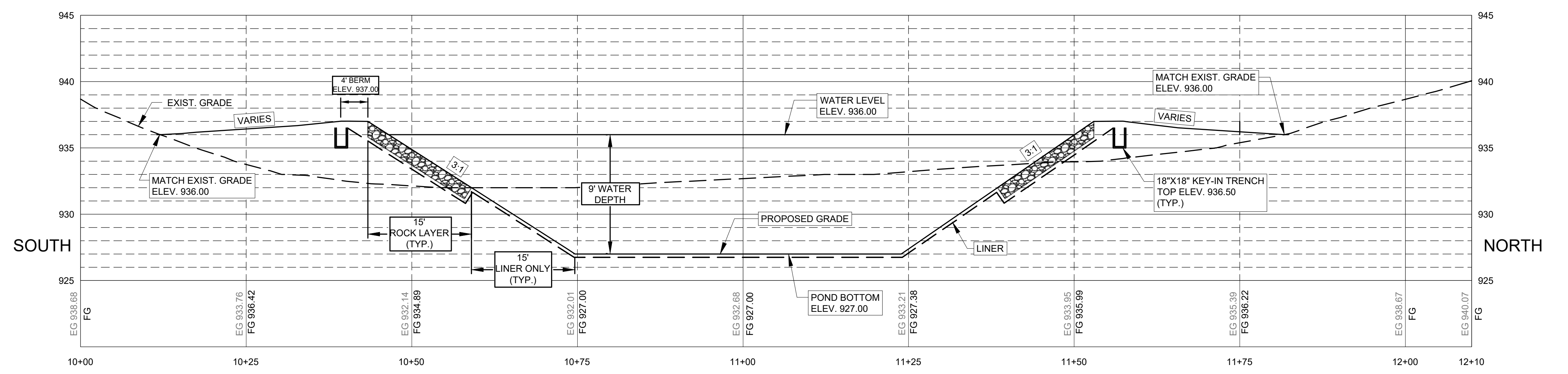
- GENERAL NOTES
- DETAILS OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.
- HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
 - FOR MANUAL INSTALLATIONS THE TRENCH SHALL BE A MINIMUM OF 4" WIDE AND 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
 - WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY.
 - SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
 - CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES. B) HOOK THE END OF EACH SILT FENCE LENGTH.



CUT/FILL SUMMARY						
NAME	CUT FACTOR	FILL FACTOR	2D AREA (SQ. FT.)	CUT (CU. YD.)	FILL (CU. YD.)	NET (CU. YD.)
VOLUME	1.00	1.00	13400.50	489.53	674.26	184.73 FILL

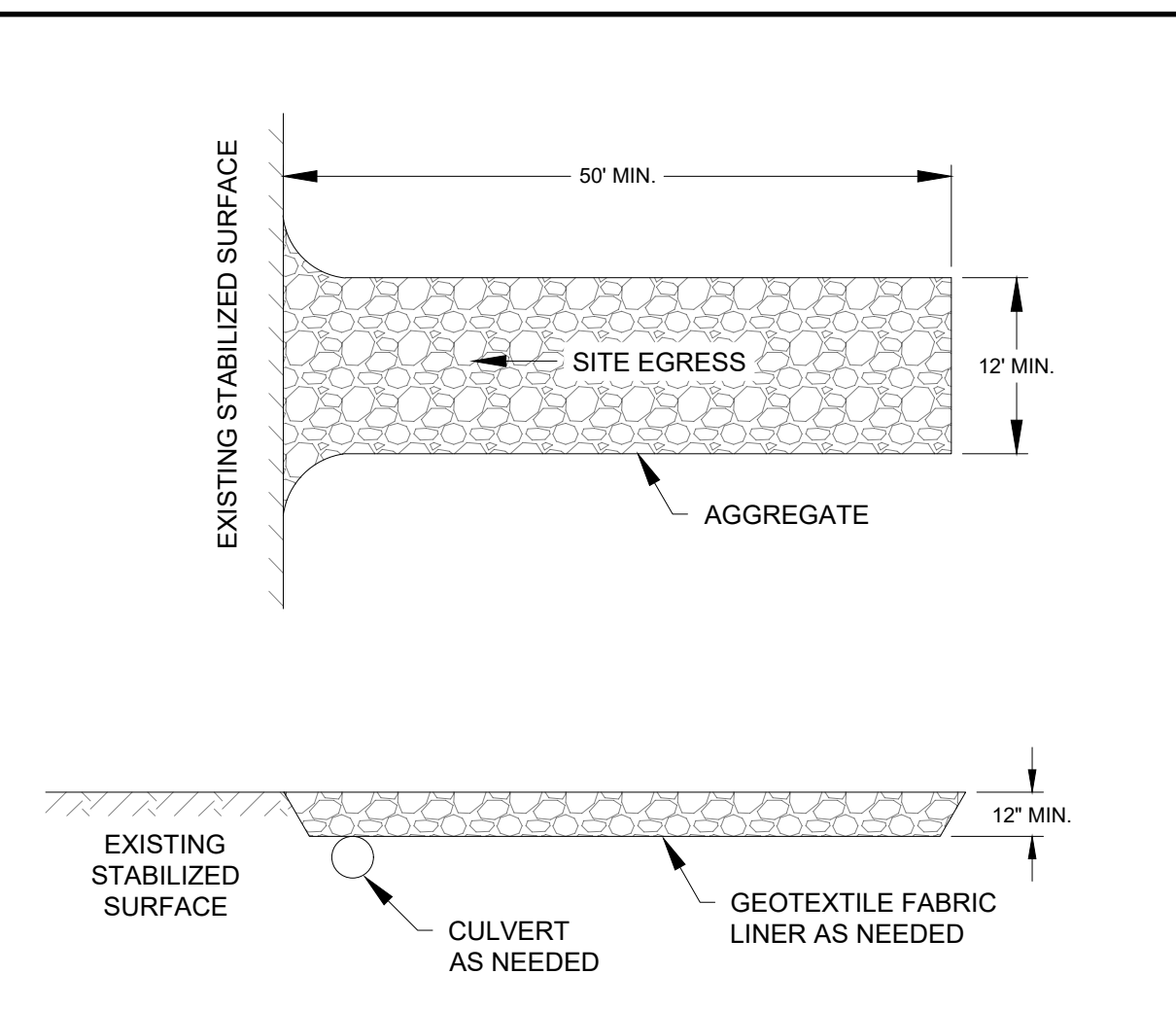


PROFILE A



PROFILE B

TYPICAL EROSION CONTROL PRODUCT CHANNEL INSTALLATION DETAIL
NOT TO SCALE



- NOTES:
- USE HARD, DURABLE, ANGULAR STONE OR RECYCLED CONCRETE MEETING THE GRADATION IN TABLE 1. WHERE THIS GRADATION IS NOT AVAILABLE, MEET THE GRADATION IN WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT) 2018 STANDARD SPECIFICATION, SECTION 312, SELECT CRUSHED MATERIAL.
 - SLOPE THE STONE TRACKING PAD IN A MANNER TO DIRECT RUNOFF TO AN APPROVED TREATMENT PRACTICE.
 - SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
 - INSTALL TRACKING PAD ACROSS FULL WIDTH OF THE ACCESS POINT, OR RESTRICT EXISTING TRAFFIC TO A DEDICATED EGRESS LANE AT LEAST 12 FEET WIDE ACROSS THE TOP OF THE PAD.
 - IF A 50' PAD LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.

STONE TRACKING PAD
NOT TO SCALE

DIGGERS HOTLINE

WISCONSIN'S ONE-CALL CENTER 811 OR (800) 242-8511
Per Wisconsin Statute 182.0175, contact Digger's Hotline for a utility locate a minimum of three business days prior to beginning excavation

31 22 00 SITE EXCAVATION AND EARTHWORK

A. GENERAL

1. WORK INCLUDED

- A. CLEARING OF DEBRIS, GRASS, TREE ROOTS, AND OTHER ITEMS IN PREPARATION FOR CONSTRUCTION.
B. PROTECTION OF EXISTING STRUCTURES, TREES, OR VEGETATION TO REMAIN.
C. STRIPPING OF TOPSOIL FROM AREAS TO BE INCORPORATED INTO THE WORK, IF REQUIRED.
D. EXCAVATION, FILLING, AND COMPACTION FOR GRADING AND FINISHED SURFACE SUBGRADE PREPARATION FOR RECREATIONAL POND FACILITY AND UTILITY TRENCHES.

2. REFERENCES

- A. ASTM D1557, D2487, D2922, D3017

B. PRODUCTS

1. MATERIALS

- A. COMMON FILL: ONSITE OR OFFSITE NATURAL SOIL FREE FROM ORGANIC MATTER, DEBRIS, VEGETATION, STONES LARGER THAN 6" AND FROZEN MATERIAL AND CLASSIFIED IN ASTM D2487 AS FOLLOWS:

- 1. GW: WELL GRADED GRAVELS, GRAVEL-SAND MIXTURES, LITTLE OR NO FINES
2. GP: SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES
3. GM: SILTY GRAVELS, GRAVEL-SAND-SILT MIXTURES
4. GC: CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES
5. SW: WELL GRADED SANDS, GRAVELLY SANDS, LITTLE OR NO FINES
6. SM: SILTY SANDS, SAND-SILT MIXTURES
7. SC: CLAYEY SANDS, SAND-CLAY MIXTURES
8. ML: INORGANIC SILTS AND VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS OR CLAYEY SILTS WITH SLIGHT PLASTICITY.
9. CL: INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELLY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS

- B. BREAKER RUN: CRUSHED STONE MEETING THE FOLLOWING GRADATION:

1. 5-INCH BREAKER RUN:

Table with 2 columns: SIEVE SIZE, % PASSING BY WEIGHT. Rows: 5 INCH (90-100), 1 1/2 INCH (20-50), NO. 10 (0-10)

2. 3-INCH BREAKER RUN:

Table with 2 columns: SIEVE SIZE, % PASSING BY WEIGHT. Rows: 3 INCH (90-100), 1 1/2 INCH (60-85), 3/4 INCH (40-65), NO. 4 (15-40), NO. 10 (10-30), NO. 40 (5-20), NO. 200 (2-12)

- C. SELECT GRANULAR BACKFILL: DURABLE PARTICLES RANGING FROM FINE TO COARSE IN A SUBSTANTIALLY UNIFORM COMBINATION. SUFFICIENT FINE MATERIAL SHALL BE PRESENT TO FILL ALL THE VOIDS OF THE COARSE MATERIAL. SOME FINE CLAY OR LOAM PARTICLES ARE DESIRABLE, BUT THEY SHALL NOT BE PRESENT IN THE FORM OF LUMPS. GRANULAR BACKFILL SHALL CONFORM TO THE FOLLOWING GRADATION:

Table with 2 columns: SIEVE SIZE, % PASSING BY WEIGHT. Rows: 3 INCH (100), 2 INCH (95-100), NO. 4 (35-60), < NO. 200 (5-15)

C. EXECUTION

1. PROTECTION

- A. LOCATE AND IDENTIFY EXISTING UTILITIES THAT ARE TO REMAIN AND PROTECT THEM FROM DAMAGE.
B. PROTECT TREES, PLANTS, STRUCTURES, BEDS, SITE IMPROVEMENTS AND FEATURES DESIGNATED TO REMAIN.
C. PROTECT BENCHMARKS, PROPERTY CORNERS, AND OTHER SURVEY MONUMENTS FROM DAMAGE OR DISPLACEMENT.

2. GRUBBING

- A. REMOVE ALL STUMPS, MAIN ROOT BALLS AND ROOT SYSTEMS TO 12" MINIMUM BELOW SUBGRADE.

3. TOPSOIL EXCAVATION

- A. TOPSOIL STRIPPED FROM THE SITE IS TO BE EITHER STOCKPILED ON-SITE OR TRANSPORTED TO A SUITABLE SITE WITHIN THE OWNER'S PROPERTY.

4. PAVEMENT REMOVAL (IF ENCOUNTERED)

- A. REMOVE PAVEMENT AND DISPOSE OF OFF-SITE IN A SUITABLE DISPOSAL SITE. REMOVAL OF PAVEMENT IS CONSIDERED INCIDENTAL TO THE WORK.
B. PROVIDE A STRAIGHT SAWCUT LINE IN LOCATIONS DESIGNATED BY STAKES OR PAINT MARKS. A POWER SAW SHALL BE USED FOR ALL SAWCUT LINES.

5. MINOR TRENCH WATER

- A. PROVIDE ALL EQUIPMENT NECESSARY TO ACCOMPLISH THE WORK, INCLUDING MEANS AND METHODS TO REMOVE CASUAL OR MINOR TRENCH WATER. SUCH WORK IS INCIDENTAL TO THE PROJECT CONSTRUCTION.
B. DISPOSE OF TRENCH WATER IN A SAFE AND APPROPRIATE MANNER, AND IN ACCORDANCE WITH WDNR RULES AND REGULATIONS FOR WATER DISCHARGE.

6. GRADING AND SUBGRADE EXCAVATION AND PREPARATION

- A. CUT AREAS SHALL BE REMOVED AND SCARIFIED TO THE DESIGNATED LINER ELEVATION - FOLLOW LINER INSTALLATION GUIDANCE PROVIDED BY OTHERS.
B. FILL AREAS SHALL BE COMPACTED TO 85-90% MODIFIED PROCTOR FOR GENERAL TURF AREAS, BUILDING AND PARKING AREAS 90-95%.
C. FILL MATERIAL SHALL NOT BE PLACED IN LIFTS EXCEEDING 8" COMPACTED THICKNESS.
D. EXCAVATION TEMPORARILY EXPOSED TO THE ELEMENTS SHALL BE ROLLED WITH A SMOOTH SURFACE ROLLER TO PROVIDE A RELATIVELY IMPERVIOUS SURFACE, OR PROTECTED VIA PRE-LINER INSTALLATION.
E. MAINTAIN SURFACE DRAINAGE DURING CONSTRUCTION. CONTRACTOR SHALL FOLLOW THE PRESCRIBED EROSION CONTROL PLAN.
F. FOLLOW POND BOTTOM AND SIDESLOPE REQUIREMENTS PER LINER INSTALLATION GUIDANCE PROVIDED BY OTHERS.
G. EXCESS MATERIAL THAT IS CONSIDERED FILL MATERIAL SHALL BE TRANSPORTED ON-SITE TO THE DESIGNATED FILL AREAS, SHAPED AND COMPACTED IN ACCORDANCE WITH THIS SECTION.
H. EXCESS MATERIAL THAT IS CONSIDERED MOUND SYSTEM MATERIAL SHALL FOLLOW THE REQUIREMENTS OF 33 01 34.19 SEPTIC SYSTEM REMOVAL EXCAVATED WET POND MATERIAL TO BE HAULED TO AN ONSITE LOCATION TBD BY OWNER. EROSION CONTROL IS REQUIRED FOR STOCKPILED OR SPREAD-TO-DRY SOILS.
I. UTILITY EXCAVATION (FOR SERVICE UTILITIES BY OTHERS) MAY COINCIDE WITH SITE EXCAVATION TO MINIMIZE EXCAVATION COSTS, FOLLOWING THE PRESCRIBED EROSION CONTROL PLAN.
J. COMPACTED AREAS THAT ARE HEAVIER OR MORE COHESIVE SOILS SHALL BE ROLLED USING A SHEEPSFOOT VIBRATORY ROLLER AND A SMOOTH DRUM ROLLER SHALL BE UTILIZED FOR GRANULAR SOILS.
K. FINISH SUBGRADE SHALL BE GRADED TO A VERTICAL TOLERANCE OF PLUS OR MINUS 0.1 FEET.
L. IF ROCK IS ENCOUNTERED, THE ENGINEER SHALL BE NOTIFIED.

7. STRUCTURAL EARTHWORK NOTES

- A. GENERAL CONTRACTOR SHALL FOLLOW ANY AND ALL ADDITIONAL REQUIREMENTS AS SPECIFIED IN SITE CIVIL PLANS.
B. STRUCTURAL/ENGINEERED FILL (NOT ANTICIPATED): WELL-GRADED, GRANULAR MATERIAL, BANK RUN SAND OR GRAVEL, CRUSHED OR NATURAL STONE, FREE OF SHALE, CLAY, FRIABLE MATERIALS AND DEBRIS; TESTED IN ACCORDANCE WITH ANSIASTM C136 WITHIN THE FOLLOWING LIMITS (A-C):
- MAXIMUM SIZE OF AGGREGATE SHALL BE 2" WITH NOT MORE THAN 20% RETAINED ON A 3/4 INCH SIEVE, WITH NOT LESS THAN 50% BY WEIGHT PASSING A NO. 4 SIEVE.
- NOT MORE THAN 15% SHALL PASS THE NO. 200 SIEVE, EXCEPT THAT NOT MORE THAN 5% SHALL PASS THE NO. 200 SIEVE FOR BASEMENT WALL BACKFILL.

- D. DRAINAGE FILL (NOT ANTICIPATED): FROST RESISTANT, WELL GRADED, CLEAN, ANGULAR/FRACTURED, CRUSHED STONE, OR GRAVEL CONFORMING TO ASTM C33; SIZE 67 FREE OF SILT, CLAY, LOAM, FRIABLE OR SOLUBLE MATERIALS, AND ORGANIC MATTER; TESTED IN ACCORDANCE WITH ANSIASTM C136 WITHIN THE FOLLOWING LIMITS (A):
- NOT MORE THAN 1/2% SHALL PASS THE NO. 200 SIEVE.
- USE DRAINAGE FILL MATERIAL AS FINAL 6" MINIMUM LAYER FOR GRANULAR SUB-BED UNDER ALL INTERIOR FLOOR SLABS RESTING ON EARTH AND UNDER EXTERIOR SIDEWALKS, STOOPS, AND STAIRS.

- E. COMPACT ALL FILL MATERIALS TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY DETERMINED IN ACCORDANCE WITH ASTM D1557, MODIFIED PROCTOR TEST:
- FOUNDATIONS/ENGINEERED FILL (NOT ANTICIPATED): COMPACT THE TOP 12" OF EXISTING SOILS AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO 95% MAXIMUM DRY DENSITY.
- BUILDING SLABS: COMPACT THE TOP 6" OF EXISTING SOILS AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO 95% MAXIMUM DRY DENSITY.

8. UTILITY TRENCH EXCAVATION

- A. CUT TRENCHES WIDE ENOUGH TO ENABLE INSTALLATION OF THE UTILITIES AND ALLOW INSPECTION. NORMAL TRENCH WIDTH BELOW THE TOP OF THE PIPE SHALL BE THE NOMINAL PIPE DIAMETER PLUS 24 INCHES. TRENCH SIDEWALLS SHALL NOT BE UNDERCUT.
B. TRENCH WALLS MORE THAN FIVE FEET IN DEPTH SHALL BE SHORED, CUT BACK TO STABLE SLOPE OR PROVIDED WITH EQUIVALENT MEANS OF PROTECTIONS IN ACCORDANCE WITH THE APPLICABLE RULES OF THE DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA). PROVIDE A LADDER FOR TRENCH EXITING IN TRENCHES OVER 4 FEET IN DEPTH.
C. EXCESS EXCAVATION BELOW THE REQUIRED GRADE LEVEL SHALL BE BACKFILLED WITH CRUSHED STONE AT NO ADDITIONAL COST TO THE OWNER.
D. EXTRA TRENCH DEPTH EXCAVATION TO PROVIDE A STABLE TRENCH SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
E. REMOVE BEDROCK, BOULDERS OR STONES REVEALED IN THE TRENCH WITHIN 6" OF THE PIPE AND THE ROCK FEATURE.
F. DO NOT EXCAVATE MORE THAN 100 FEET OF TRENCH LENGTH AHEAD OF OR BEHIND THE PIPE WORK.
G. DISPOSITION OF EXCESS UTILITY TRENCH MATERIAL IS THE RESPONSIBILITY OF THE CONTRACTOR. MATERIAL MAY BE UTILIZED FOR BACKFILL MATERIAL (NOT BEDDING OR PIPE COVER MATERIAL).
H. BACKFILL TRENCHES WITH SELECT GRANULAR BACKFILL MEETING THE REQUIREMENTS OF SECTION B OF THIS SPECIFICATION. BASED ON PRIOR EXPERIENCE IN THIS AREA, THE CONTRACTOR MAY UTILIZE EXCAVATED TRENCH MATERIALS (SUITABLE MATERIAL WITH NO BOULDERS, ROCKS, OR RUBBLE) FOR TRENCH BACKFILL.
I. MATERIAL LAYER THICKNESS SHALL NOT EXCEED 8" COMPACTED THICKNESS IN FILL AREAS, TO THE MAXIMUM DRY DENSITY OF 90-95% IN ACCORDANCE WITH ASTM D1557.
J. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN OPTIMAL MOISTURE CONTENT TO PROVIDE THE MAXIMUM DRY DENSITY FOR ROAD AND UTILITY COMPACTION PURPOSES.

9. PROOF-ROLL

- A. A PROOF ROLL IS NOT REQUIRED FOR THIS PROJECT.

10. TESTING

- A. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL COMPACTION REQUIREMENTS. THIS INCLUDES THE USE OF AN INDEPENDENT TESTING FIRM, AT NO ADDITIONAL COST TO THE OWNER, TO PERFORM COMPACTION TESTING/SAMPLING TO CONFIRM THE IN-PLACE DENSITY IF ORDERED BY THE ENGINEER WHERE COMPACTION NON-COMPLIANCE PERSISTS.
B. DETERMINATION OF MOISTURE CONTENT SHALL BE ACCORDING TO ASTM D3017. DETERMINATION OF DENSITY SHALL BE IN ACCORDANCE WITH ASTM D2922.

31 25 00 EROSION CONTROL

A. - GENERAL

1. SECTION INCLUDES

- a. The CONTRACTOR shall provide all materials, labor, equipment and services necessary for the completion of the work specified in this section.
b. Placement and removal of silt fence.
c. Installation of sediment tracking construction entrance.

2. REFERENCES

- a. State of Wisconsin Department of Transportation, Standard Specifications for Highway and Structure Construction, 2012 Edition.
b. Wisconsin Department of Natural Resources Storm Water Construction and Post-Construction Technical Standards.
c. State of Wisconsin Department of Transportation, Erosion Control Product Acceptability List for Multi-Modal Applications (PAL), Current Edition

3. REQUIREMENTS

- a. CONTRACTOR shall provide and secure all erosion control permits from all governing authorities not previously obtained by the OWNER.
b. Erosion control measures shall be installed as indicated on the project construction documents and abiding with requirements of the Wisconsin Storm Water Construction and Post-Construction Technical Standards.

B. - PRODUCTS

1. SEDIMENT TRACKING CONSTRUCTION ENTRANCE

- a. Sediment tracking construction entrance shall meet the requirements in Standard 1057 in the Wisconsin Storm Water Construction and Post-Construction Technical Standards.

C. - EXECUTION

1. SEDIMENT TRACKING CONSTRUCTION ENTRANCE

- a. Install sediment tracking construction entrance in accordance with Standard 1057 in the Wisconsin Storm Water Construction and Post-Construction Technical Standards.

2. ONGOING INSPECTIONS

- a. Inspect and document all inspections of erosion control elements for the required NOI documentation (see attached)

-END OF SECTION-

32.92.00 TURF AND GRASSES

A. BACKGROUND

1. DESCRIPTION

- a. This specification includes details necessary to furnish and complete topsoiling, fertilizing, seeding, mulching and maintenance of same during construction.

2. SUBMITTALS

- a. Upon request, submit composition of fertilizer and seed mixture, or certification that materials meet all specification requirements.

3. REFERENCES

- a. FS D-F-241 Fertilizers, Mixed, Commercial.
b. WIDOT, Erosion Control Product Acceptability List (PAL)

4. DEFINITIONS

- a. The definition for "Weeds" includes the following listing: Dandelion, Jimsonweed, Quack Grass, Horsetail, Morning Glory, Rush Grass, Mustard, Lambsquarter, Chickweed, Cress, Crabgrass, Canadian Thistle, Nutgrass, Poison Oak, Blackberry, Tansy Ragwort, Bermuda Grass, Johnson Grass, Poison Ivy, Nut Sedge, Nimble Will, Bindweed, Bent Grass, Wild Garlic, Perennial Sorrel, and Bromes Grass.

B. MATERIALS

1. TOPSOIL

- a. Provide reclaimed topsoil from the site and supplement with topsoil borrow from offsite.
b. Topsoil borrow shall be natural loam, sandy loam, silt loam, or silty-clay loam, humus bearing soil, adapted to sustaining plant life. The soil shall be free from rocks larger than 1" in diameter, other objects, toxic substances, or other foreign matter. Soil shall have a pH range between 5.5 and 7.0 and a maximum salt level of 500 PPM. Topsoil shall be suitable for placement in a residential environment and shall be free from noxious substances, such as manure, herbicides, pesticides or other non-organic contaminants.

2. SEED

- a. L.L. Olds Seed Company
b. Reinders
c. The Scott's Company
d. Horst Distributing
e. Wisconsin Turf

3. SEED MIXTURE

- a. Lawn Seed Mixture shall be 50% Kentucky Bluegrass, 15% Creeping Red Fescue and 12% Chewing Fescue
b. Seed shall be applied at a seeding rate of 5-6 lbs per 1,000 square feet.

4. FERTILIZER

- a. Standard commercial fertilizer (starter fertilizer) with the following available nutrients by weight, applied at a rate of 0.5 lbs. per 1,000 square feet:
1. Nitrogen 10%
2. Phosphoric Acid 18%
3. Potash 22%

5. MULCH

- a. Straw/Hay: Free from noxious weed seeds or objectionable foreign matter.
b. Paper Fiber: Recycled newspaper fibers, wetting agent, deforming agent and gret dye with a dry moisture content of between 9 and 15 percent.
c. Wood Cellulose: Fibers manufactured from virgin wood fibers that form a blotter-like ground over that readily absorbs water and allows infiltration to the soil. Moisture content shall not exceed 18 percent at time of delivery. Dyed green.
d. Mats: Biodegradable vegetative mat with a minimum thickness of 3/8" meeting the WIDOT, Erosion Control Product Acceptability List (PAL) for Class I, Type Urban mats. Anchoring devices shall also be biodegradable, shall last for a minimum of two months and shall substantially degrade in 5 months.

C. EXECUTION

1. INSPECTION

- a. Verify that prepared soil base is ready to receive work of this section.
b. Beginning of installation means acceptance of existing site conditions.

2. PLACEMENT

- a. Stones, debris and other foreign materials shall be removed from the Work.
b. Spread evenly to a minimum depth of 4 inches.
c. Place during dry weather.
d. Finish Grade to minimize rough spots, eliminate lumps, and ensure positive drainage at all times. Finish grading shall be expressly approved by the Owner and Engineer.

3. SEEDING

- a. Apply seed at a rate of 5-6 lbs. per 1,000 sq. ft. evenly in two (2) intersecting directions. Rake in lightly. Do not seed area in excess of that which can be mulched on same day.
b. Planting Season: Starting May 1 through October 1.
c. Do not sow immediately following rain, when ground is too dry, or during windy periods.
d. Drag seeded area with lightweight drag to cover seed and level soil.

4. FERTILIZING

- a. Apply fertilizer in accordance with manufacturer's instructions.
b. Apply after smooth raking of topsoil and prior to roller compaction.
c. Do not apply fertilizer at same time or with same machine as will be used to apply seed. Apply fertilizer after seed has been dragged and soil leveled.
d. Mix thoroughly into upper 2" of topsoil.
e. Lightly water to aid dissipation of fertilizer.

5. MULCHING

- a. Mulching type and method is the Contractor's option, unless establishment of seeding is a concern by the Owner or Engineer.
b. Paper fiber mulch shall be placed with a hydraulic spray machine (water slurry) at an appropriate rate of per 1/2" layer.
c. Wood Cellulose shall be placed with hydraulic spray machine (water slurry) at a rate of 1,500 lbs per 1/2" layer.
d. Mats shall be placed on smooth and even ground in accordance with the manufacturer's recommendations.

6. MAINTENANCE

- a. Mow grass at regular intervals to maintain a minimum height of 2-1/2". Do not cut more than one-third (1/3) of grass blade at any one mowing.
b. Neatly trim edges and hand clip where necessary.
c. Immediately remove any clippings after mowing and trimming.
d. Water to prevent grass and soil from drying out.
e. Control growth of weeds. Apply herbicides in accordance with manufacturer's instructions. Rensdy damage resulting from improper use of herbicides.
f. Immediately re-seed areas which show bare spots.
g. Protect seeded areas with warning signs during maintenance period.

D. MEASUREMENT & PAYMENT

- 1. This item shall be paid for acceptable work by the square yard (sq) of turf area.

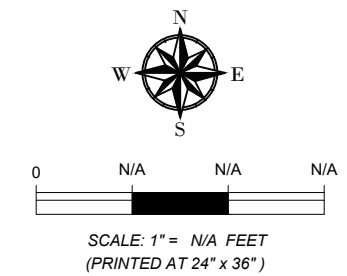
-END OF SECTION-



SITE & EROSION CONTROL SPECS
RISTICH RECREATIONAL POND
6200 N OAKLAND HILLS ROAD
NASHOTAH, WISCONSIN

PRELIMINARY
NOT FOR CONSTRUCTION

SUBMITTED TO:
XXXX
XX/XX/XXXX



PROJECT NO: 2024-206(A)

DATE: xx/xx/xxxx

DESIGNED BY: RJR

DRAWN BY: CSM

SHEET: C2.0



WISCONSIN'S ONE-CALL CENTER 811 OR (800) 242-8511
Per Wisconsin Statute 182.0175, contact Digger's Hotline for a utility locate a minimum of three business days prior to beginning excavation



STAFF REVIEW

Date: September 18th 2024

Meeting Date & Time: Monday, October 14th at 6:00 p.m.

To: Plan Commission, Village of Chenequa

From: Planning Department

Subject: Site Plan Review

Owner: Thomas and Lea VanHeule

Property Address: 6075 N Oakland Hills Road

Project Description: Proposed shed

Zoning District: Residence District

	REQUIRED RES. DISTRICT		PROPOSED PROJECT	
LOT AREA:	5	acres	5.685	acres
LOT WIDTH: AVERAGE	200	L.F. min.	268	L.F.
YARD SETBACKS: Side (North)	10	ft. min.	29.5	ft.
Rear (West)	25	ft. min.	300+	ft.
Front (East)	25	ft. min.	500+	ft.
Side (South)	10	ft. min.	150+	ft.
BUILDING HEIGHT:	35	ft. max	12	ft.

COMMENTS:

1. The applicant proposes to construct a new 10'x16' shed
2. The shed materials consist of;
 - a. LP smart side (cedar texture)
 - b. Asphalt shingle roof
3. See proposed color sample provided in packets
4. See proposed location provided in packets
5. This is a legal-conforming lot
6. The proposed project meets all other requirements of the Village of Chenequa Zoning
7. The proposed detached accessory structure is over one hundred (100) feet to any

existing single-family structure on an adjoining lot which complies with section Sec. 6.5(c)(i).

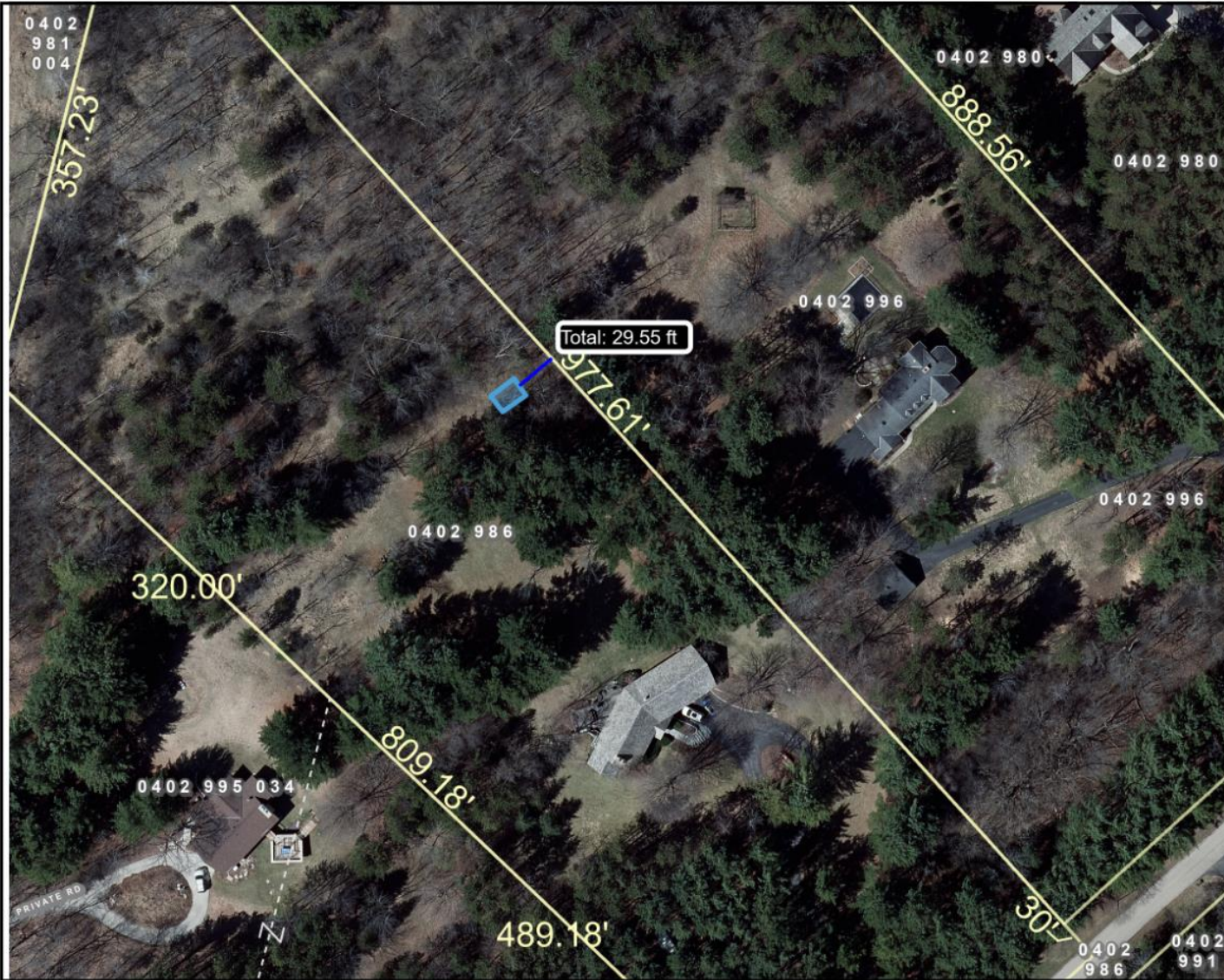
8. A building permit is required from the Building Inspector prior to delivery of the shed.

c: Dan Neumer, Administrator
Deanna Braunschweig, Clerk/Treasurer
Paul Launer, Lake Country Inspections
Thomas and Lea VanHeule, Owner
Cody Lincoln, Zoning Administrator

6075 N. Oakland Hills Rd – 2024 Shed Plans



Lofted Dutch Barn
10x16



Legend

- Municipal Boundary_2K
- Parcel_Dimension_2K
- Note_Text_2K
- Lots_2K
- Lot
- Unit
- General Common Element
- Outlot
- SimultaneousConveyance
- Assessor Plat
- CSM
- Condominium
- Subdivision
- Cartoline_2K
- EA-Easement_Line
- PL-DA
- PL-Extended_Tie_line
- PL-Meander_Line
- PL-Note
- PL-Tie
- PL-Tie_Line
- <all other values>
- Railroad_2K

A site plan showing the proposed location of the shed and approximate setback to the nearest property boundary.



The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

Notes: 12x18 pad, 30ft setback
 Printed: 9/8/2024

Elevation appx 952



A plan or rendering of the proposed shed including; dimensions (L,W&H), proposed materials/color and a photo sample of any proposed lighting.

Lofted Dutch Barn
10x16

Structure Details

Style: Lofted Dutch Barn

Sidewall Height: 7' 5" Sidewall Height

Size: 10x16x12

12' Transom Dormer

Base: 4"x6" Treated Notched Skids

Cupola: None

Siding: LP® SmartSide® Cedar Texture Panel (50 Year) Painted

Roof Overhang: 12" Gable Ends Overhang

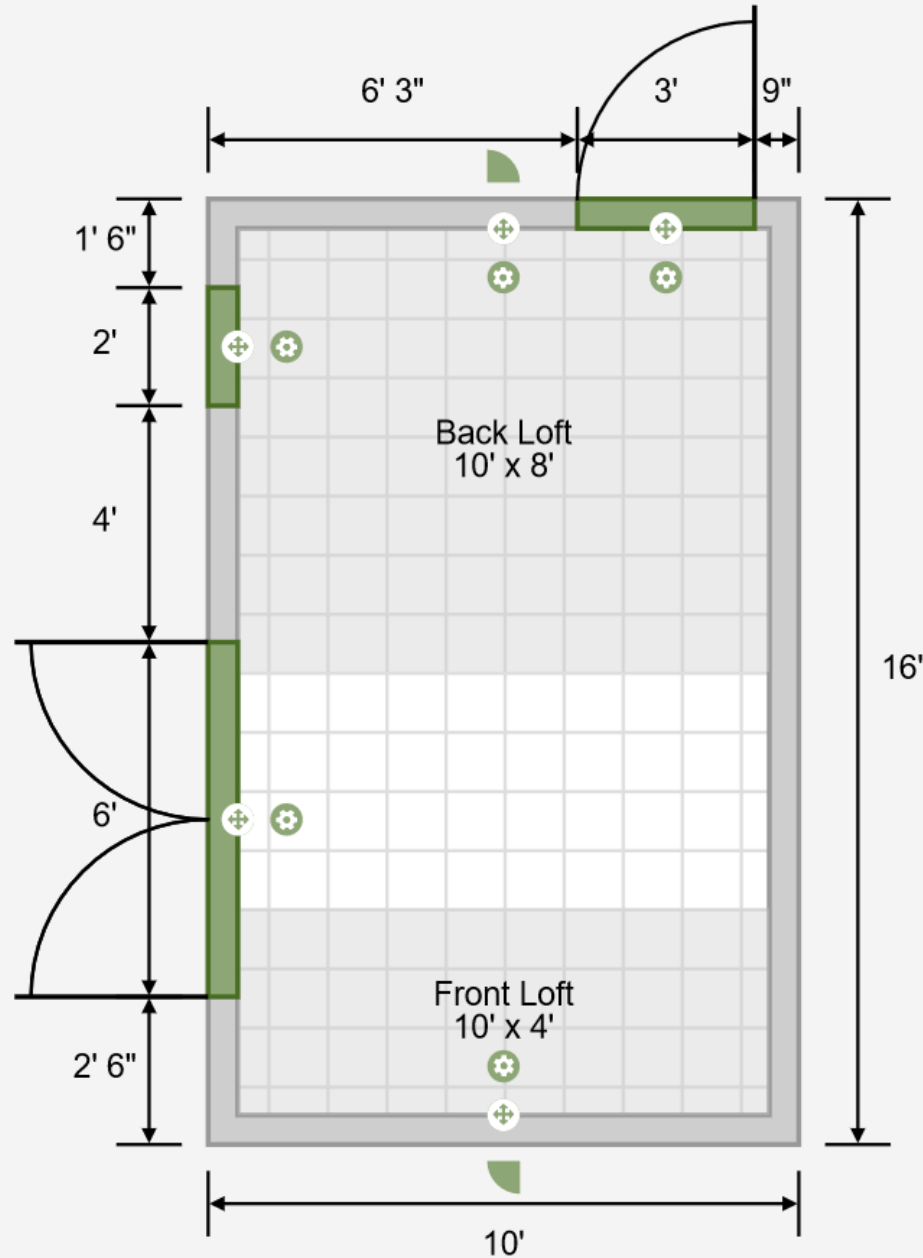
Siding Color: Driftwood Urethane

Trim Color: Gray

Roof Color: Chateau Green

Roof Material: Architectural Shingles

2x4 16" OC stud walls
2x6 12" OC floor w/ 3/4" decking



A plan or rendering of the proposed shed including; dimensions (L,W&H), proposed materials/color and a photo sample of any proposed lighting.



Laser Levelled Gravel Pad Info

Our pads are laser leveled to ensure proper setup & help your building last a lifetime. This cost includes gravel brought in and if site is within 6" of level there is no extra charge. Any extra digging or filling will result in an additional charge to be determined by installer. Treated 4x4 borders can be provided for an additional cost. Gravel pad is approximately 12" wider than building on all sides. If conditions are not desirable for installer we have the option to decline the job.



STAFF REVIEW

Date: September 26th, 2024

Meeting Date & Time: Monday, October 14th at 6:00 P.M.

To: Plan Commission, Village of Chenequa

From: Planning Department

Subject: Site Plan Review

Builder: Ruvin Bros. Artisans and Trades

Owner: John and JoJo Neumann

Location: 5777 N State Road 83

Project Description: Proposed modification to previously approved plans

Zoning District: Residence District - Lot Abutting a Lake

Dear Plan Commission and Village Board,

In September of 2023, John and JoJo Neumann received approval from the Village board for an addition/remodel project at 5777 N State Road 83. Since these plans were originally approved, the builder has made some minor modifications. Accordingly, these changes will need to be approved.

By-in large, the changes proposed are to address engineering requirements and aesthetic preferences. The plan set provided shows elevations of both "Approved by Chenequa" plans and "Proposed Permit Plans". The respective changes are circled or highlighted in red. These changes shown do not result in an increased footprint, living area or structure height.

Regards,

Cody Lincoln, Zoning Administrator

Dan Neumer, Administrator

Deanna Braunschweig, Clerk

Paul Launer, Lake Country Inspections

John and JoJo Neumann, Owner

CERTIFIED SURVEY MAP NO. _____

BEING A SUBDIVISION OF LOT 1 OF CERTIFIED SURVEY MAP NO. 10455, LOCATED IN THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 AND THE NORTHWEST 1/4 AND NORTHEAST 1/4 OF SECTION 20, TOWNSHIP 8 NORTH, RANGE 18 EAST, TOWN OF MERTON, WAUKESHA COUNTY, WISCONSIN

FLOODPLAIN / WETLAND / PRIMARY ENVIRONMENTAL CORRIDOR RESTRICTIONS

THOSE AREAS IDENTIFIED AS A FLOODPLAIN / WETLAND / PRIMARY ENVIRONMENTAL CORRIDOR PRESERVATION AREA ON SHEET 1 OF 5 OF THIS CERTIFIED SURVEY MAP SHALL BE SUBJECT TO THE FOLLOWING RESTRICTIONS:

1. GRADING, FILLING AND REMOVAL OF TOPSOIL OR OTHER EARTHEN MATERIALS ARE PROHIBITED, UNLESS SPECIFICALLY AUTHORIZED BY THE MUNICIPALITY IN WHICH THIS LAND IS LOCATED AND, IF APPLICABLE, THE WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE, THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES AND THE ARMY CORPS OF ENGINEERS.
2. THE REMOVAL OR DESTRUCTION OF ANY VEGETATIVE COVER, I.E., TREES, SHRUBS, GRASSES, ETC., IS PROHIBITED, WITH THE EXCEPTION THAT INVASIVE, DEAD, DISEASED, OR DYING VEGETATION MAY BE REMOVED, AT THE DISCRETION OF THE LANDOWNER, AND WITH APPROVAL FROM THE WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE-PLANNING AND ZONING DIVISION. SILVICULTURAL THINNING, UPON THE RECOMMENDATION OF A FORESTER OR NATURALIST AND WITH APPROVAL FROM THE WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE-PLANNING AND ZONING DIVISION, SHALL ALSO BE PERMITTED.
3. GRAZING BY DOMESTICATED ANIMALS, I.E., HORSES, COWS, ETC., IS PROHIBITED, UNLESS GRAZING IS CONDUCTED IN ORDER TO MANAGE INVASIVE VEGETATION AND APPROVAL IS OBTAINED BY THE WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE-PLANNING AND ZONING DIVISION.
4. THE INTRODUCTION OF PLANT MATERIAL NOT INDIGENOUS TO THE EXISTING ENVIRONMENT IS PROHIBITED.
5. PONDS ARE PROHIBITED UNLESS DESIGNED TO ENHANCE THE NATURAL ENVIRONMENT. PONDS THAT MAY BE PERMITTED ARE SUBJECT TO THE APPROVAL OF THE MUNICIPALITY IN WHICH THEY ARE LOCATED AND, IF APPLICABLE, THE WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE, THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES AND THE ARMY CORPS OF ENGINEERS.
6. THE CONSTRUCTION OF BUILDINGS IS PROHIBITED.

NOTES:

- THE PEC AND WETLAND BOUNDARY SHOWN ON THIS CERTIFIED SURVEY WAS DELINEATED AND MARKED BY SEWRPC ON AUGUST 16, 2023 AND LOCATED IN THE FIELD BY SEH ON OCTOBER 25, 2023.
- PART OF THE PROPERTY IS WITHIN THE JURISDICTION OF THE WAUKESHA COUNTY SHORELAND PROTECTION ORDINANCE.
- ALL ADJACENT WELLS FOUND AND ADJACENT BUILDINGS WITHIN 50 FEET ARE SHOWN.
- ON MAY 16, 2024 THE WAUKESHA COUNTY PARK AND PLANNING COMMISSION APPROVED THE CREATION OF LOT 2, WHICH IS A "FLAG LOT", AND THAT UNDER THE PROVISIONS OF THE WAUKESHA COUNTY SHORELAND PROTECTION ORDINANCE IS CONSIDERED TO BE A LOT NOT ABUTTING A PUBLIC ROAD.
- A PORTION OF LOT 1 IS LOCATED WITHIN 1,200 FEET OF A SITE IDENTIFIED BY THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES AS A FORMER LANDFILL. UNDER THE PROVISIONS OF N.R. 812 OF THE WISCONSIN ADMINISTRATIVE CODE, ANY PROPOSED WELL LESS THAN 1,200 FEET FROM A LANDFILL MUST OBTAIN VARIANCE FROM THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES AND BE CONSTRUCTED ACCORDING TO THEIR SPECIFICATIONS.
- ACCESS TO LOT 1 IS RESTRICTED TO EXISTING ACCESS POINTS. NO ADDITIONAL ACCESS TO CTH K IS ALLOWED.
- NO DRAIN TILE OBSERVED AT TIME OF SURVEY
- ALL EASEMENTS PROVIDED ARE SHOWN
- REGULATED FLOODPLAIN BOUNDARY FIELD DELINEATED AUGUST 21, 2024 (898' NAVD88)

BASEMENT RESTRICTION - GROUNDWATER

THIS CERTIFIED SURVEY MAP IS LOCATED IN AN AREA WITH MAPPED SOILS KNOWN TO HAVE SEASONAL HIGH GROUNDWATER. THE WAUKESHA COUNTY SHORELAND PROTECTION ORDINANCE CURRENTLY REQUIRES THAT THE LOWEST LEVEL OF ANY RESIDENCE MUST BE AT AN ELEVATION THAT IS AT LEAST ONE (1) FOOT HIGHER THAN THE HIGHEST SEASONAL GROUNDWATER LEVEL, UNLESS A VARIANCE FROM THAT REQUIREMENT IS OBTAINED FROM THE WAUKESHA COUNTY BOARD OF ADJUSTMENT. THEREFORE, ADDITIONAL SOIL TESTING IN THE VICINITY OF ANY PROPOSED RESIDENCE (OR ADDITION) WILL BE REQUIRED TO ENSURE COMPLIANCE WITH THIS REQUIREMENT. IF THE REQUIREMENT REGARDING VERTICAL SEPARATION DISTANCE FROM THE HIGHEST SEASONAL GROUNDWATER LEVEL IS MODIFIED BY A FUTURE AMENDMENT TO THE WAUKESHA COUNTY SHORELAND PROTECTION ORDINANCE, THE REQUIREMENT AT THE TIME OF CONSTRUCTION SHALL APPLY. ALL GROUNDWATER SEPARATION REQUIREMENTS SET FORTH BY THE TOWN OF MERTON MUST ALSO BE COMPLIED WITH.



Keith A. Kindred

DATED THIS 6TH DAY OF DECEMBER, 2023
REVISED THIS 22ND DAY OF AUGUST, 2024



CERTIFIED SURVEY MAP NO. _____

BEING A SUBDIVISION OF LOT 1 OF CERTIFIED SURVEY MAP NO. 10455, LOCATED IN THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 AND THE NORTHWEST 1/4 AND NORTHEAST 1/4 OF SECTION 20, TOWNSHIP 8 NORTH, RANGE 18 EAST, TOWN OF MERTON, WAUKESHA COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE

I, Keith A. Kindred, Professional Land Surveyor hereby certify;

That by the direction of owner, Kettle Moraine Presbyterian Church, I have surveyed, divided, and mapped the lands being all of Lot 1 of Certified Survey Map No. 10455, Located in the Northwest 1/4 and the Southwest 1/4 of Section 20, Township 8 North, Range 18 East, in the Town of Merton, Waukesha County, Wisconsin, more fully described as follows:

Lot 1 of Certified Survey Map No. 10455

Said lands contain 723,836.62 Square Feet, and 16.617 Acres

That I have made such survey, land division and plat by the direction of the owner(s) of said lands. That such survey is a correct representation of all the exterior boundaries of the lands surveyed and the division thereof made. That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin State Statutes, the Town of Merton, the Village of Chenequa and Waukesha County in surveying, dividing, and mapping the same.

Dated this 6th day of December, 2023

Revised this 22nd day of August, 2024



Keith A. Kindred

Keith A Kindred, PLS 2082

CERTIFIED SURVEY MAP NO. _____

BEING A SUBDIVISION OF LOT 1 OF CERTIFIED SURVEY MAP NO. 10455, LOCATED IN THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 AND THE NORTHWEST 1/4 AND NORTHEAST 1/4 OF SECTION 20, TOWNSHIP 8 NORTH, RANGE 18 EAST, TOWN OF MERTON, WAUKESHA COUNTY, WISCONSIN

OWNER'S CERTIFICATE:

John McBroom, As Representative of KETTLE MORaine UNITED PRESBYTERIAN CHURCH, we hereby certify that we caused the land described on this Certified Survey Map to be surveyed, divided, and mapped as represented on the Certified Survey Map. We also certify that this Certified Survey Map is required by S.236.10 or S.236.12 to be submitted to the following for approval of objection:

- 1) Town of Merton
- 2) Village of Chenequa
- 3) Waukesha County

John F. McBroom

WITNESS the hand and seal of said Trustee this 23 day of September, 2024

In Presence of:

Deanna B Braunschweig

DEANNA BRAUNSCHWEIG
NOTARY PUBLIC
STATE OF WISCONSIN

STATE OF WISCONSIN)

Waukesha COUNTY) SS

Personally came before me this 23 day of September, 2024^{DB}, the above named JOHN MCBROOM to me known to be the same Trustee who executed the foregoing instrument and acknowledged the same.

Deanna B Braunschweig
Notary Public Deanna Braunschweig

Waukesha County, Wisconsin

My Commission Expires September 3, 2028

TOWN OF MERTON - PLAN COMMISSION APPROVAL:

Approved by the Plan Commission of the Town of Merton on this 17 day of Jan, 2024.

Tim Klink
Tim Klink, Chairman

Holly R Class
Holly Class, Recording Secretary
Class

TOWN BOARD APPROVAL:

Approved by the Town Board of the Town of Merton on this 9 day of Sept, 2024.

Tim Klink
Tim Klink, Chairman

Donna Hann
Donna Hann, Clerk



Keith



DATED THIS 6TH DAY OF DECEMBER, 2023
REVISED THIS 22ND DAY OF AUGUST, 2024

THIS INSTRUMENT DRAFTED BY: KEN BRAUNLING

SHEET 4 OF 5

CERTIFIED SURVEY MAP NO. _____

BEING A SUBDIVISION OF LOT 1 OF CERTIFIED SURVEY MAP NO. 10455, LOCATED IN THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 AND THE NORTHWEST 1/4 AND NORTHEAST 1/4 OF SECTION 20, TOWNSHIP 8 NORTH, RANGE 18 EAST, TOWN OF MERTON, WAUKESHA COUNTY, WISCONSIN

VILLAGE OF CHENEQUA VILLAGE BOARD EXTRA-TERRITORIAL APPROVAL:

Approved by the Village of Chenequa on this ____ day of _____, 20__.

Deanna Braunschweig, Village Clerk

Jo Ann Villavicencio, Village President

VILLAGE OF CHENEQUA VILLAGE PLAN COMMISSION EXTRA-TERRITORIAL APPROVAL:

Approved by the Village of Chenequa Plan Commission on this ____ day of _____, 20__.

Jo Ann Villavicencio, Village President

Deanna Braunschweig, Village Clerk

WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE

The above, which has been filed for approval as required by Chapter 236 of the Wisconsin State Statutes, is hereby approved on this ____ day of _____, 20__.

Dale R. Shaver, Director



Keith A. Kindred

DATED THIS 6TH DAY OF DECEMBER, 2023
REVISED THIS 22ND DAY OF AUGUST, 2024

CERTIFIED SURVEY MAP NO. _____

That part of the Northeast 1/4 and Southeast 1/4 of the Northwest 1/4 of Section 27,
Township 8 North, Range 18 East, in the Town of Merton, Waukesha County, Wisconsin.

All bearings are referenced to the Wisconsin State Plane Coordinate System, South-zone
(NAD83/2011) in which the North line of the NW 1/4, Sec. 27 bears S89°39'30"W.

Vertical datum is based on North American Vertical Datum of 1988.
Ordinary High Water Mark Elevation: 909.82'
Lake elevation at time of survey: 909.71'

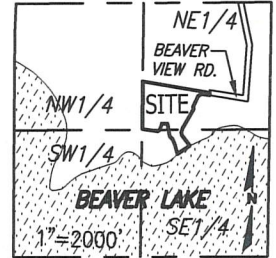
This entire property falls within the Waukesha County Shoreland Protection Ordinance
Jurisdictional Limits. No portion of subject property is located within a 100 year
floodplain per FEMA.

Any land below the ordinary high water mark of a lake or navigable stream is subject to
the public trust in navigable waters that is established under article IX, section 1, of the
state constitution.

Owner : Matthew & Suzannah Bong
N61W30697 Beaver View Rd.
Hartland, WI 53029



VICINITY MAP NW 1/4 SEC. 27-8-18



LEGEND

- ⊙ Indicates septic tank cover
- ⊕ Indicates well head
- ⊞ Indicates septic vent

Graphic Scale

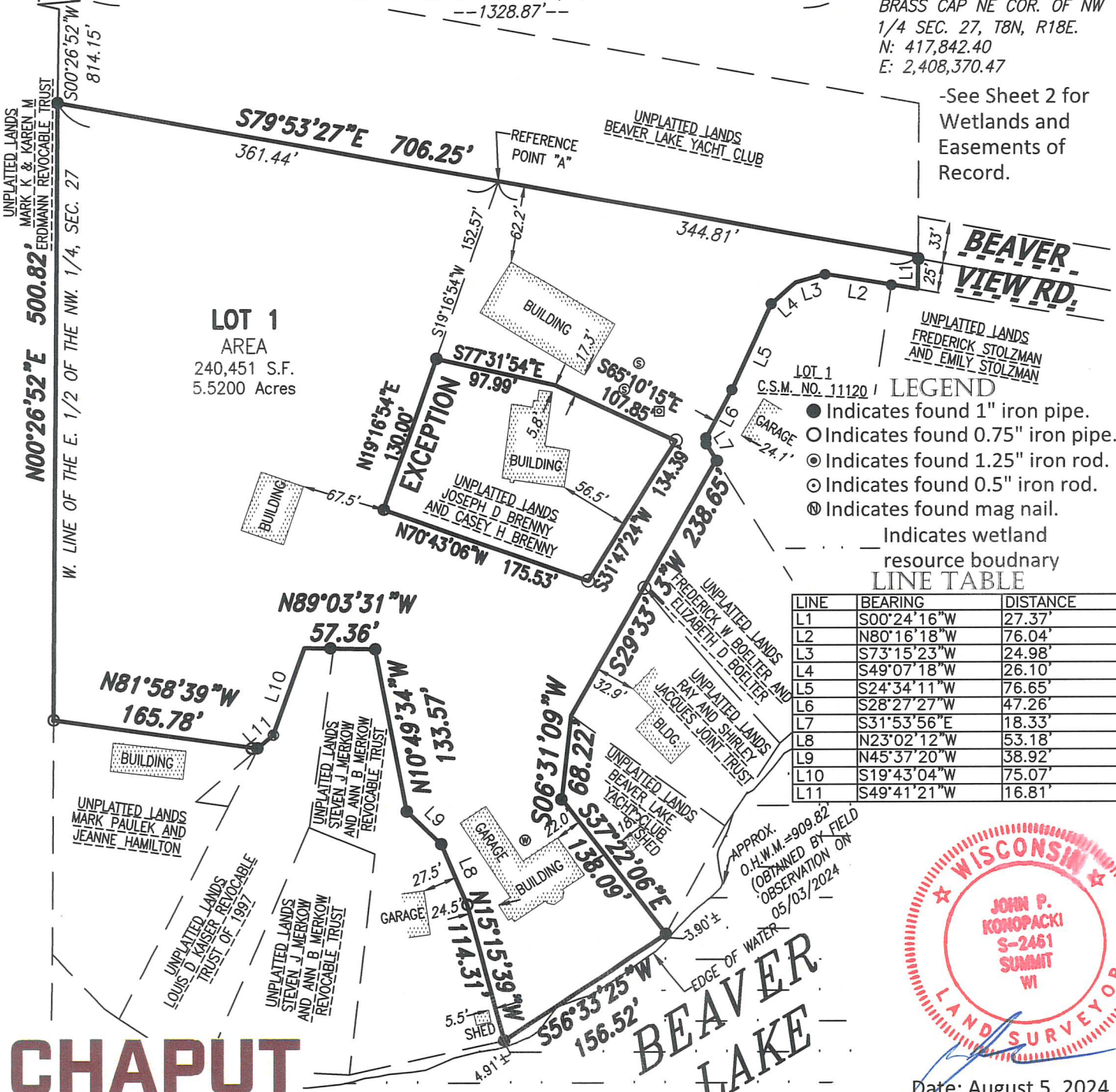


FND. CONC. MON. WITH
BRASS CAP NW COR. OF NW
1/4 SEC. 27, T8N, R18E.
N: 417,826.20
E: 2,405,719.18

S89°39'30"W 2651.59'
NORTH LINE OF THE NW 1/4, SEC. 27
--1328.87'--

FND. CONC. MON. WITH
BRASS CAP NE COR. OF NW
1/4 SEC. 27, T8N, R18E.
N: 417,842.40
E: 2,408,370.47

-See Sheet 2 for
Wetlands and
Easements of
Record.



- ### LEGEND
- Indicates found 1" iron pipe.
 - Indicates found 0.75" iron pipe.
 - ⊙ Indicates found 1.25" iron rod.
 - ⊞ Indicates found 0.5" iron rod.
 - ⊕ Indicates found mag nail.
- Indicates wetland
resource boundary

LINE TABLE

LINE	BEARING	DISTANCE
L1	S00°24'16"W	27.37'
L2	N80°16'18"W	76.04'
L3	S73°15'23"W	24.98'
L4	S49°07'18"W	26.10'
L5	S24°34'11"W	76.65'
L6	S28°27'27"W	47.26'
L7	S31°53'56"E	18.33'
L8	N23°02'12"W	53.18'
L9	N45°37'20"W	38.92'
L10	S19°43'04"W	75.07'
L11	S49°41'21"W	16.81'



Date: August 5, 2024
Revised: August 29, 2024
Survey No. 5310.00-tjs
Sheet 1 of 7

CHAPUT LAND SURVEYS

234 W. Florida Street
Milwaukee, WI 53204
414-224-8068
www.chaputlandsurveys.com

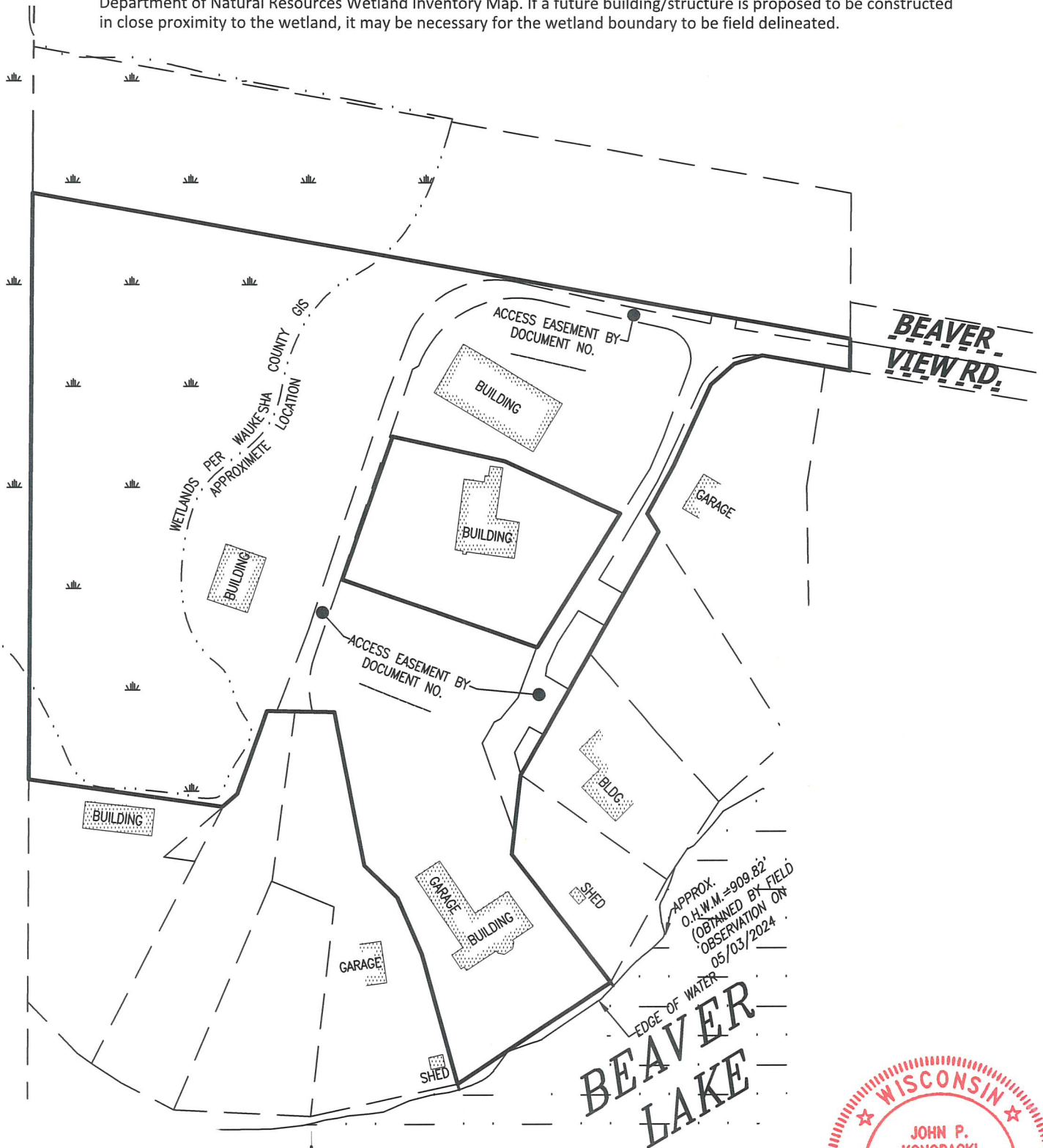
This instrument was drafted by John P. Konopacki
Professional Land Surveyor S-2461

CERTIFIED SURVEY MAP NO. _____

That part of the Northeast 1/4 and Southeast 1/4 of the Northwest 1/4 of Section 27, Township 8 North, Range 18 East, in the Town of Merton, Waukesha County, Wisconsin.

WETLANDS AND EASEMENTS OF RECORD ARE SHOWN FOR REFERENCE ONLY

The wetland boundary shown on this Certified Survey Map is an approximate boundary taken from the Wisconsin Department of Natural Resources Wetland Inventory Map. If a future building/structure is proposed to be constructed in close proximity to the wetland, it may be necessary for the wetland boundary to be field delineated.



Graphic Scale



1" = 150'

CHAPUT
LAND SURVEYS

234 W. Florida Street
Milwaukee, WI 53204

414-224-8068
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Professional Land Surveyor S-2461



Date: August 5, 2024
Revised: August 29, 2024
Survey No. 5310.00-tjs
Sheet 2 of 7

CERTIFIED SURVEY MAP NO. _____

That part of the Northeast 1/4 and Southeast 1/4 of the Northwest 1/4 of Section 27, Township 8 North, Range 18 East, in the Town of Merton, Waukesha County, Wisconsin.

RESTRICTIONS:

WETLAND PRESERVATION AREA RESTRICTIONS

Those area identified as a Wetland Preservation Area on Page 2 of 7 of this Certified Survey Map shall be subject to the following restrictions:

1. Grading, filling and removal of topsoil or other earthen materials are prohibited, unless specifically authorized by the municipality in which this land is located and, if applicable, the Waukesha County Department of Parks and Land Use, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
2. The removal or destruction of any vegetative cover, i.e., trees, shrubs, grasses, etc., is prohibited, with the exception that invasive, dead, diseased, or dying vegetation may be removed, at the discretion of the landowner, and with approval from the Waukesha County Department of Parks and Land Use-Planning and Zoning Division. Silvicultural thinning, upon the recommendation of a forester or naturalist and with approval from the Waukesha County Department of Parks and Land Use-Planning and Zoning Division, shall also be permitted.
3. Grazing by domesticated animals, i.e., horses, cows, etc., is prohibited.
4. The introduction of plant material not indigenous to the existing environment is prohibited.
5. Ponds are prohibited unless designed to enhance the natural environment. Ponds that may be permitted are subject to the approval of the municipality in which they are located and, if applicable, the Waukesha County Department of Parks and Land Use, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
6. The construction of buildings is prohibited.

BASEMENT RESTRICTION - GROUNDWATER

The lands that are a part of this Certified Survey Map are located in an area with mapped soils that may contain seasonal high groundwater. Waukesha County Shoreland Protection Ordinance currently require that the lowest level of any residence must be at an elevation that is at least one (1) foot higher than the highest seasonal groundwater level, unless a variance from that requirement is obtained from the Waukesha County Board of Adjustment. Therefore, additional soil testing in the vicinity of any future proposed residence (or addition) will be required to ensure compliance with this requirement. If the requirement regarding vertical separation distance from the highest seasonal groundwater level is modified by a future amendment to the Waukesha County Shoreland Protection Ordinance and the Waukesha County Zoning Code, the requirement at the time of construction shall All groundwater separation requirements set forth by the Town of Merton must also be complied with.

NOTES:

- a. Termination of Road Easement Agreement by Document No. _____
- b. Resolution to Vacate a Portion of Beaver View Road by Document No. _____
- c. Quit Claim Deed by Document No. _____



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Sheet 3 of 7

CERTIFIED SURVEY MAP NO. _____

That part of the Northeast 1/4 and Southeast 1/4 of the Northwest 1/4 of Section 27, Township 8 North, Range 18 East, in the Town of Merton, Waukesha County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN}
 :SS
MILWAUKEE COUNTY}

I, JOHN P. KONOPACKI, Professional Land Surveyor, do hereby certify:

THAT I have surveyed, divided and mapped part of the Northeast 1/4 and Southeast 1/4 of the Northwest 1/4 of Section 27, Town 8 North, Range 18 East, in the Town of Merton, Waukesha County, Wisconsin, which is bounded and described as follows:

Commencing at the Northeast corner of said 1/4 Section; thence South 89°39'30" West along the North line of said Northwest 1/4 a distance of 1,328.87 feet to a point; thence South 00°26'52" West along the West line of the East 1/2 of said Northeast 1/4, as monumented, 814.15 feet to the point of beginning of the lands hereinafter described; thence South 79°53'27" East 361.44 feet to a point described hereon as reference point "A"; continue thence South 79°53'27" East 344.81 feet to a point on the West line of Beaver View Road; thence South 00°24'16" West along said West line 27.37 feet to a point; thence North 80°16'18" West along the North line of Lot 1, Certified Survey Map No. 1420 and it's extension thereof 76.04 feet to a point; thence South 73°15'23" West along said North line 24.98 feet to a point; thence South 49°07'18" West along the West line of said Lot 1 26.10 feet to a point; thence South 24°34'11" West along said West line 76.65 feet to a point; thence South 28°27'27" West along said West line 47.26 feet to a point; thence South 31°53'56" East along said West line 18.33 feet to a point; thence South 29°33'13" West 238.65 feet to a point; thence South 06°31'09" West 68.22 feet to a point; thence South 37°22'06" East 138.09 feet to a point that is 3.90 feet more or less to the water's edge of Beaver Lake; thence South 56°33'25" West 156.52 feet to a point that is 4.91 feet more or less to the water's edge of Beaver lake; thence North 15°15'39" West 114.31 feet to a point; thence North 23°02'12" West 53.18 feet to a point; thence North 45°37'20" West 38.92 feet to a point; thence North 10°49'34" West 133.57 feet to a point; thence North 89°03'31" West 57.36 feet to a point; thence South 19°43'04" West 75.07 feet to a point; thence South 49°41'21" West along said West line 16.81 feet; thence North 81°58'39" West 165.78 feet to a point on the West line of the East 1/2 of said 1/4, as monumented; thence North 00°26'52" East 500.82 feet to the point of beginning.

EXCEPTING therefrom a portion of land in the Northwest 1/4 of the Northwest 1/4 of Section 27, Township 8 North, Range 18 East described as follows:

Commencing at said reference point "A"; thence South 19°16'54" West 152.57 feet to the point of beginning of the lands hereinafter described; thence South 77°31'54" East 97.99 feet to a point; thence South 65°10'15" East 107.85 feet to a point; thence South 31°47'24" West 134.39 feet to a point; thence North 70°43'06" West 175.53 feet to a point; thence North 19°16'54" East 130.00 feet to the point of beginning.

Said lands contains 240,451 square feet, or 5.5200 acres.

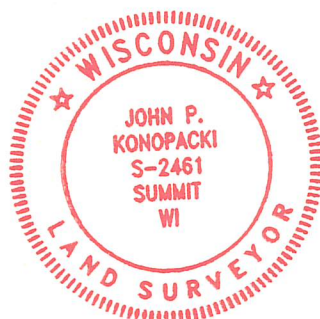
THAT I have made the survey, land division and map by the direction of Matthew and Suzannah Bong, owners.

THAT the map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

THAT I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the Land Division and Ordinances of the Town of Merton, the Village of Chenequa, the Village of Hartland and Waukesha County Department of Parks and Land Use in surveying, dividing and mapping the same.

August 20, 2024

DATE




JOHN P. KONOPACKI
PROFESSIONAL LAND SURVEYOR S-2461

CHAPUT
LAND SURVEYS

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Milwaukee, WI 53204

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Professional Land Surveyor S-2461

Date: August 5, 2024
Revised: August 29, 2024
Survey No. 5310.00-tjs
Sheet 4 of 7

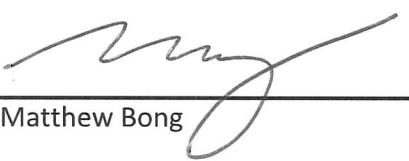
CERTIFIED SURVEY MAP NO. _____

That part of the Northeast 1/4 and Southeast 1/4 of the Northwest 1/4 of Section 27, Township 8 North, Range 18 East, in the Town of Merton, Waukesha County, Wisconsin.

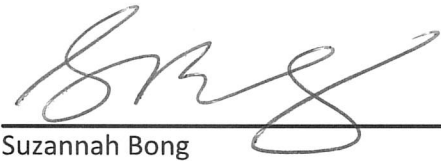
OWNER'S CERTIFICATE

Matthew Bong and Suzannah Bong, husband and wife, as owners, hereby certify that we caused the land described on this map to be surveyed, divided and mapped as represented on this map in accordance with the provisions of Section 236.34 of the Wisconsin Statutes, the Land Division Ordinance of the Town of Merton, the Village of Chenequa, the Village of Hartland and Waukesha County in surveying, dividing and mapping the same.

IN WITNESS WHEREOF, Matthew Bong and Suzannah Bong, husband and wife has caused these presents to be signed at Waukesha County, Wisconsin, on this 3rd day of September, 2024



Matthew Bong




Suzannah Bong

STATE OF WISCONSIN}
:SS

COUNTY}

Personally came before me this 3rd day of September, 2024, Matthew Bong and Suzannah Bong, husband and wife, as owners of said land, to me known as the persons who executed the foregoing instrument and acknowledged the same.

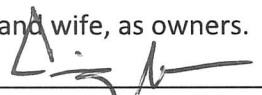


Notary Public, State of Wisconsin
My commission expires. 3-16-2027
My commission is permanent.



CONSENT OF MORTGAGEE

Bank Five Nine, mortgagee of the above described land, does hereby consent to the surveying, dividing and mapping the land described on this map and does hereby consent to the above certificate of Matthew Bong and Suzannah Bong, husband and wife, as owners.

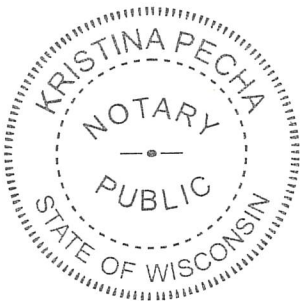
By 


Name: CRAG KOZA
Title: SVP, Residential Lending

STATE OF WISCONSIN}
:SS

Waukesha COUNTY}

Personally came before me this 3rd day of October, 2024, to me known as the person who executed the foregoing instrument and acknowledged that he executed the foregoing instrument as such officer as the deed of said corporation, by its authority.





Notary Public, State of Wisconsin
My commission expires. 2/16/27
My commission is permanent.



Date: August 5, 2024
Revised: August 29, 2024
Survey No. 5310.00-tjs
Sheet 5 of 7

CHAPUT LAND SURVEYS

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CERTIFIED SURVEY MAP NO. _____

That part of the Northeast 1/4 and Southeast 1/4 of the Northwest 1/4 of Section 27, Township 8 North, Range 18 East, in the Town of Merton, Waukesha County, Wisconsin.

VILLAGE OF CHENEQUA PLAN COMMISSION CERTIFICATE OF EXTRATERRITORIAL APPROVAL

This land division is hereby approved by the Plan Commission of the Village of Chenequa on this ___ day of _____, 2024.

Jo Ann Villavicencio, Chairperson
Village of Chenequa

Deanna Braunschweig, Village Clerk
Village of Chenequa

VILLAGE OF CHENEQUA VILLAGE BOARD CERTIFICATE OF EXTRATERRITORIAL APPROVAL

This land division is hereby approved by the Village Board of the Village of Chenequa on this ___ day of _____, 2024.

Jo Ann Villavicencio, Chairperson
Village of Chenequa

Deanna Braunschweig, Village Clerk
Village of Chenequa

VILLAGE OF HARTLAND PLAN COMMISSION CERTIFICATE OF EXTRATERRITORIAL APPROVAL

^{16th} This land division is hereby approved by the Plan Commission of the Village of Hartland on this ~~23rd~~ day of September, 2024.

Santee Policello, Clerk
Village of Hartland

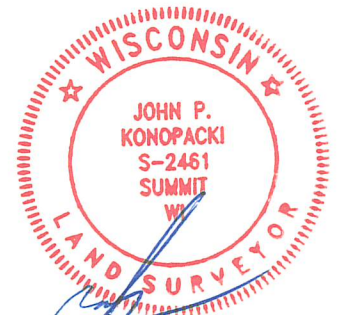
Jeffrey Pfannerstill, Chairman
Village of Hartland

VILLAGE OF HARTLAND VILLAGE BOARD CERTIFICATE OF EXTRATERRITORIAL APPROVAL

This land division is hereby approved by the Village Board of the Village of Hartland on this ^{23rd} day of September, 2024.

Santee Policello, Clerk
Village of Hartland

Jeffrey Pfannerstill, President
Village of Hartland



Date: August 5, 2024
Revised: August 29, 2024
Survey No. 5310.00-tjs
Sheet 6 of 7

CERTIFIED SURVEY MAP NO. _____

That part of the Northeast 1/4 and Southeast 1/4 of the Northwest 1/4 of Section 27, Township 8 North, Range 18 East, in the Town of Merton, Waukesha County, Wisconsin.

PLANNING COMMISSION CERTIFICATE OF APPROVAL

This land division is hereby approved by the Plan Commission of the Town of Merton on this 19 day of June, 2024.



Tim Klink, Chairman
Town of Merton



Holly Claas, Recording Secretary
Town of Merton

TOWN BOARD OF MERTON CERTIFICATE OF APPROVAL

This land division is hereby approved by the Town Board of Merton on this 9 day of Sept., 2024.



Tim Klink, Chairman
Town of Merton



Donna Hann, Clerk
Town of Merton

WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE APPROVAL

The above, which has been filed for approval as required by Chapter 236.34, Wisconsin State Statutes is hereby approved on this ___ day of _____, 2024.

Dale R. Shaver, Director



CHAPUT
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Sheet 7 of 7

Town of Merton
Town Board Meeting
Minutes of September 9, 2024

- Meeting Called to Order by Supervisor Morris 6:30 pm
- Pledge of Allegiance led by Supervisor Morris
- Minutes- Minutes of August 12 and August 24, 2024. A motion to approve the minutes was made by Herrick/Fleming. Motion carried.

Present: Supervisors Herrick, Olson, Fleming and Morris, DPW Director Griffin, and Clerk Hann. Absent: Treasurer Kempen, Chairman Klink, Attorney Murn,
Also, in attendance: Officer Fons, Brad Bowen, George Morris, and Liz Tobolt

Citizen Comments and Concerns: Deputy Fons reported on the calls that were responded to by their department the past three weeks. Deputy Fons did meet with North Lake School Staff to go thru the building prior to school starting. Chief Bowen talked about the pending ownership between the Town of Merton and Western Lakes. Chief Bowen talked on the Intermunicipal Agreement that he is working on with the Village of Hartland. Village of Hartland is looking at staff increases for 2025 and that would be added to their budget for the Town of Merton. The Western Lakes Budget meeting will be on Wednesday, September 11, 2024.

Old Business: None

New Business:

Consider/Act on Certified Survey Map to divide a 16.6-acre parcel into a 4-acre parcel and a 10.6-acre parcel for Kettle Moraine United Presbyterian Church N66W32690 CTH K, Hartland, WI. TAX KEY MRTT0366-978. Approved by plan commission on January 17, 2024. Attorney Liz Tobolt reviewed the request for the CSM for Kettle Moraine United Presbyterian to parcel off a lot to sell and that they have met all requirements from Waukesha County. DPW Direct Griffin stated that the Plan Commission had no concerns with the split. A motion to approve the CSM to divide a 16.6-acre parcel for Kettle Moraine United Presbyterian Church TAX KEY MRTT0366-978, was made by Olson/Fleming. Motion carried unanimously.

Consider/Act on the Certified Survey Map to combine 2 parcels of record, under same ownership, to construct a new single-family residence and an accessory building for Jeff Bartlett, N82W28441 Vista Drive, Hartland, WI. TAX KEY MRTT 0336-034-002. Approved by plan commission on August 7, 2024. DPW Director Griffin reviewed the request for the board. A motion to approve the CSM to combine 2 parcels to for Jeff Bartlett, TAX KEY MRTT 0336-034-002, was made by Fleming/Olson. Motion carried unanimously.

Consider/Act on the Certified Survey Map, removing a public road right of way section and a recorded private road easement, as requested by Matthew and Suzannah Bong,

N61 W30697 Beaver View Road. TAX KEY MRTT 0394-982 approved by the Plan Commission on June 19, 2024. DPW Director Griffin reviewed the Bong request for the CSM which has been in front of the board several times. A motion to approve the CSM to remove the public road right of way section and record a private road easement for Mr. & Mrs. Bong, TAX KEY MRTT 0394-982, was made by Fleming/Olson. Motion carried unanimously.

Consider/Act on Resolution to Borrow \$1,058,000 for the 2024 road projects, for the purchase of 550 Highway Truck, and Fire Capital, etc. Clerk Hann presented two options the board could choose for borrowing. Based on the lowest interest rate she is recommending go thru Bank 59. DPW Director Griffin the capital projects that this borrow would cover. Supervisor Herrick questioned the borrow when there is a fund balance. Clerk Hann explained that this was part of the 2024 budgeting process for capital purchases. Since Treasurer Kempen was not at this meeting a recommendation was to take no action and bring back to the next board meeting.

Consider/Act on Increased Equipment Cost on 2023 Plow Truck. DPW Director Griffin talked that this was ordered in 2022 and due to the supply issues over the past years the equipment cost has increased. A motion to approve the increase cost on the 2023 plow truck was made Fleming/Herrick. Motion carried unanimously.

Clerk, Board, Highway, Treasurer and Attorney Reports. DPW Director Griffin received a complaint on the speed of Dorn Road. He was going to have the contract officer sit out however the only way to lower the speed is to have a traffic study done. Congratulations to Mark Adams who will be celebrating his twenty-year anniversary working at the Town. Clerk Hann stated that Trick n Treating will be the last Saturday in October which is 10-26-2024 and that date is on the website for the residents.

Vouchers as Presented - A motion to approve the vouchers as presented was made by Olson/Herrick. Motion carried.

Adjourn - A motion to adjourn was made by Fleming/Herrick. Motion carried. Meeting adjourned at 7:05 p.m.

Respectfully Submitted
Donna Hann, Town Clerk