



AGENDA
Village of Chenequa
Monday, February 12, 2024
31275 W County Road K, Chenequa, WI 53029

This is official notice that the regular monthly meeting of the Village Board of Trustees for the Village of Chenequa will be held immediately following the Plan Commission meeting, on Monday, February 12, 2024, utilizing Zoom Communications. The following matters will be discussed, with possible actions, as well as any other matters that may come before the Trustees:

Call to Order

Pledge of Allegiance

1. Public comment period: *Public comments on any subject without any action, except possible referral to a governmental body or staff member.*
2. Approval of minutes from the Village Board meeting on January 8, 2024.
3. Approval of Invoices.
4. Review and consider action on proposed landscape plan at 31927 W Apple Lane, Owen and Kimberly Sullivan. (Tax Key No. 0417986002).
5. Review and consider action on proposed landscape plan at 4724 N Pinecrest Drive, Curt Culver. (Tax Key No. 0737997004).
6. Review and consider action on proposed accessory structure at 7285 N State Road 83, Travis Theisen. (Tax Key No. 0351970002).
7. Review and consider action on proposed remodel of an existing non-conforming dwelling at 32016 County Road K, Carl and Mary Alice Eschweiler. (Tax Key No. 0368988002).
8. Review and consider action on Wakeboating Guidelines.
9. Review and consider action on Lake Country Municipal Court Successor Agreement for the Operation of the Lake Country Municipal Court for Western Waukesha County and Ordinance No. 2024-02-12-01, Create and Establish a Municipal Court, to add the City of Delafield to Lake Country Municipal Court.
10. Report – Forester.
11. Report – Village Administrator.
12. Report – Village President.
13. Report – Village Attorney.
14. Agenda items to be considered for future meetings.

15. Adjournment.

Respectfully submitted by:
Deanna Braunschweig
Village Clerk - Treasurer

To participate via Zoom:

<https://us02web.zoom.us/j/84862693939?pwd=Z0xySzNndXh0RGRMSjlnRXB6cEJCdz09>

Meeting ID is 880 2328 4165 and the Passcode is 525265

Or Dial: 305 224 1968 US

Request from persons with disabilities who need assistance to participate in this meeting or hearing should be made to the Village Administrator with as much advance notice as possible. It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information. No action will be taken by any other governmental body except by the governing body noticed above.

NOTICE OF POSTING TO VILLAGE HALL BULLETIN & WEBSITE
Village Clerk posted this agenda on Thursday, February 8, 2024, by 4:30 PM

VILLAGE BOARD MINUTES
VILLAGE OF CHENEQUA

VILLAGE OF CHENEQUA - VILLAGE BOARD MINUTES
OF MONDAY, January 8, 2024
Unofficial until approved by the Village Board.
Approved as written () or with corrections () on _____.

A meeting of the Village Board of Trustees was held on Monday, January 8, at 6:06 p.m. utilizing Zoom Communications. The following members were in attendance:

Ms. Villavicencio / Village President - present
Ms. Manegold / Trustee - present
Mr. Pranke / Trustee – absent
Mr. Bellin / Trustee - present
Mr. Grunke / Trustee - absent
Ms. von Hagke / Trustee – present
Mr. Kubick / Trustee - present
Mr. Luljak / Village Attorney Representative – absent
Ms. Miller / Village Attorney Representative – present
Mr. Gartner/ Village Attorney Representative - present
Mr. Lincoln / Zoning Administrator-Forester - present
Mr. Neumer / Administrator-Police Chief – present
Mr. Carney / Police Captain – present
Ms. Braunschweig / Village Clerk – present

Call to Order

Pledge of Allegiance

Public in Attendance

Deborah McNear, Gorge Rolfs, Sue Touchett, Timothy Fredman, Julie Rolfs

Public Comment

President Villavicencio read a prepared statement allowing for public comments of two minutes or less.

No Comments.

Approval of minutes from the Village Board meeting on December 11, 2023

Motion (Kubick/Manegold) to approve the minutes from the Village Board meeting of December 11, 2023, as presented. *Motion carried.*

Approval of Invoices

Motion (Bellin/Kubick) to approve the invoices, as presented. *Motion carried.*

Review and consider action on Extraterritorial Certified Survey Map, Certified Survey to Combine two lots; W321N7631 Silver Spring Lane, Hartland, Thomas and Jane Kammerait – MRTT0353-014-001.

The Plan Commission recommended approval.

Motion (Kubick/Manegold) to approve Extraterritorial Certified Survey Map, Certified Survey to Combine two lots; W321N7631 Silver Spring Lane, Hartland, Thomas and Jane Kammerait – MRTT0353-014-001. *Motion carried.*

Review and consider hybrid meetings.

Administrator Neumer introduced the item. The quote was obtained. There is an anonymous donor.

Review and consider quote for Technological Upgrades for Village Board Room for hybrid meetings in an amount not to exceed \$10,000.

Administrator Neumer introduced the item. Discussion ensued of meeting protocol if quorum is not present. Discussion ensued of the anonymous funding that is available. There was consensus of the Village Board, that as long as the purchase is funded by an anonymous donor, not the tax roll, then the project can go forward.

Report – Village Forester – Lincoln reported that the Lake Committee met in December. The next meeting will be mid-January.

Report – Village Administrator – Administrator Neumer reported that he will be working on a survey for Village Residents in regard to accessory structures.

Report – Village President. – No Report.

Report – Village Attorney – No Report.

Future Agenda items to be considered:

von Hagke commented to work on accessory structure parameters.

Adjournment

Motion (Manegold/von Hagke) adjourn the Village Board meeting at 6:18 p.m. *Motion carried.*

Respectfully submitted by:

Approved and Ordered Posted by:

Deanna Braunschweig
Village Clerk - Treasurer

Jo Ann F. Villavicencio
Village President



STAFF REVIEW

Date: February 6, 2024

Meeting Date & Time: Monday, February 12th at 6:00 P.M.

To: Plan Commission, Village of Chenequa

From: Planning Department

Subject: Site Plan Review

Landscaper: Scott Byron

Owner: Owen and Kimberly Sullivan

Location: 31927 W Apple Lane

Project Description: Proposed Revision to a Previously Approved Landscape Plan

Zoning District: Residence District - Lot Abutting a Lake

COMMENTS:

Proposed Landscaping

1. Scott Byron and Company have recently submitted an updated landscape plan on behalf of the Sullivan family.
2. A complete landscape and grading plan with a photo book of sample materials and proposed plantings is provided in the Plan Commission and Village Board packet.
3. The landscaping plan includes:

Within 75' of the water

- One at grade patio near the house
 - o The patio is proposed to be constructed from “irregular eden flagstone”
 - o In total, the patio is approximately 1500 square feet. Approximately 500 square feet is within the 75' setback of Pine Lake
- One uncovered stairway/path down to the water.
 - o The pathway is proposed to be constructed of bluestone chip gravel with field stone steps
 - o The proposed path is less than 4' in width
- One terrace/firepit along the pathway down to the water.
 - o The proposed terrace will be constructed from “irregular eden flagstone”
 - o The perimeter of the terrace is proposed to be planted with a

sedge/perennial vegetated mat.

- The proposed terrace is approximately 170 square feet.

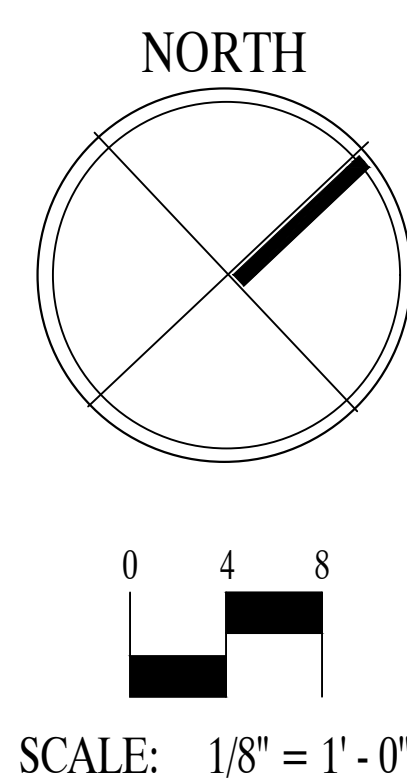
Beyond the 75' Setback

- Aside from the aforementioned 1500 square foot patio on the lakeside of the dwelling, there is one additional flagstone patio along the east side of the dwelling.
 - Also, along the east side of the dwelling, is a proposed 10'x10' concrete pad to accommodate for an 8'x8' spa.
 - Up near the entryway of the home, there is a patio/walkway space that is proposed to be constructed of a bluestone material.
 - Additionally, there are several mulch and bluestone gravel paths around the house. Where steps are required, "New York fieldstone" is proposed.
4. The landscape plan also proposes 33 fully shielded pathway lights around the property.
- a. A spec sheet for the proposed landscape light is provided in the packet
 - b. The proposed lumen output per fixture is 105
 - c. The color temperature of these fixtures is 3,000K

New Driveway

1. The applicants also propose to modify the previously approved driveway
2. The proposed driveway materials are proposed to be a mix of asphalt and block pavers
3. On average, the driveway is approximately 16' wide
4. The proposed driveway does not exceed the 12% grade maximum requirement as specified in 5.23
5. A building permit is required from the Building Inspector prior to start of construction

c: Dan Neumer, Administrator
Deanna Braunschweig, Clerk
Paul Launer, Lake Country Inspections
Owen and Kimberly Sullivan, Owner
Cody Lincoln, Zoning Administrator



SULLIVAN RESIDENCE

CHENEQUA, WISCONSIN

31927 WEST APPLE LANE

REVISIONS			
NO.	DATE	BY:	DESCRIPTION
△	11.10.23	SCS	LANDSCAPE
△	12.01.23	SCS	LANDSCAPE
△	1.10.24	SCS	LANDSCAPE
△	1.18.24	SCS	LANDSCAPE
△	1.19.24	SCS	LANDSCAPE
△	1.20.24	SCS	LANDSCAPE



Landscape Architecture
Contracting and Maintenance

30088 North Skokie Highway
Lake Bluff, Illinois 60044-1112
847-689-0266
FAX 847-689-0277

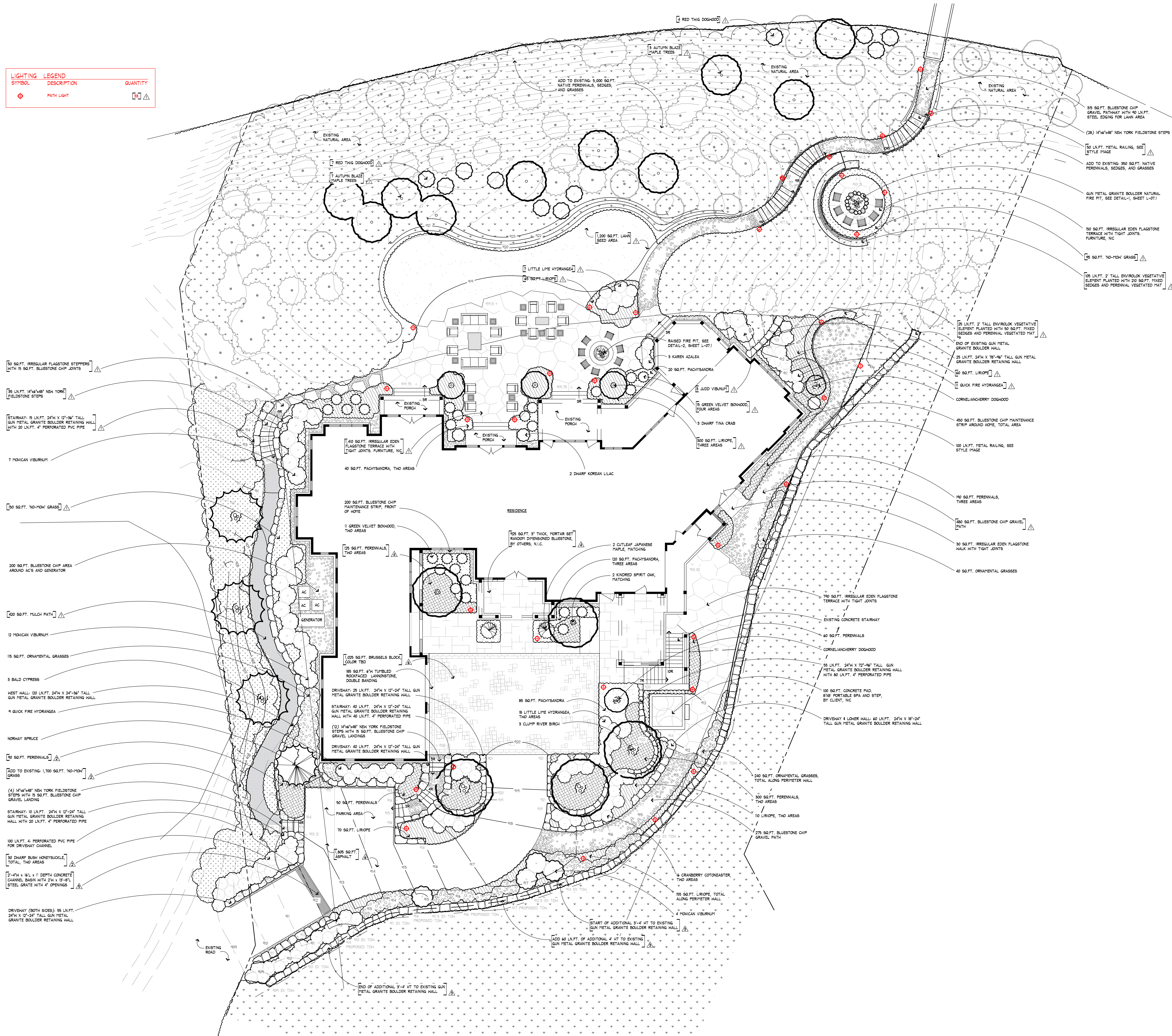
DATE:	08.16.23
DESIGN:	SCS
DRAWN BY:	SCS
APPRD:	JRK
CLIENT:	SULLIVAN

SHEET TITLE

LANDSCAPE PLAN

SHEET NO.	L-03.1
JOB NO.	23-174

LIGHTING LEGEND		
SYMBOL	DESCRIPTION	QUANTITY
⊕	PATH LIGHT	34



Type:

Model:

Encapsulated Bi-Pin LED Lamps

SPECIFICATIONS

BASE: G4 or GY6.35 bi-pin base.

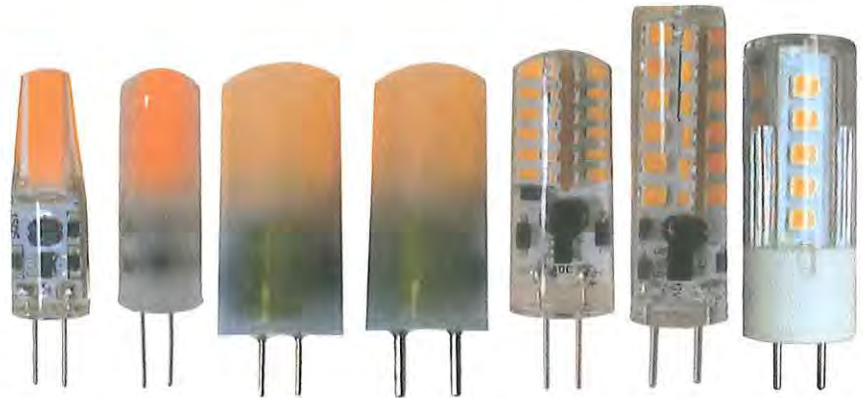
VOLTAGE: 12V AC/DC.

CRI: 80+

WEATHERPROOF: IP65 (weatherproof)

WARRANTY: Five years.

Encapsulated bi-pin lamps from Dauer offer very durable 360° illumination for deck lights, path lights, step lights, wall washers, and more. Warm and cool white color temperatures and wildlife-safe amber are available. IP65 weatherproof rated. Warrantied for 5 years, average rated life is 25,000 hours.



2W
487170/
487173
2700K
and
3000K

2W
487172
(frosted)
2700K
and
3000K

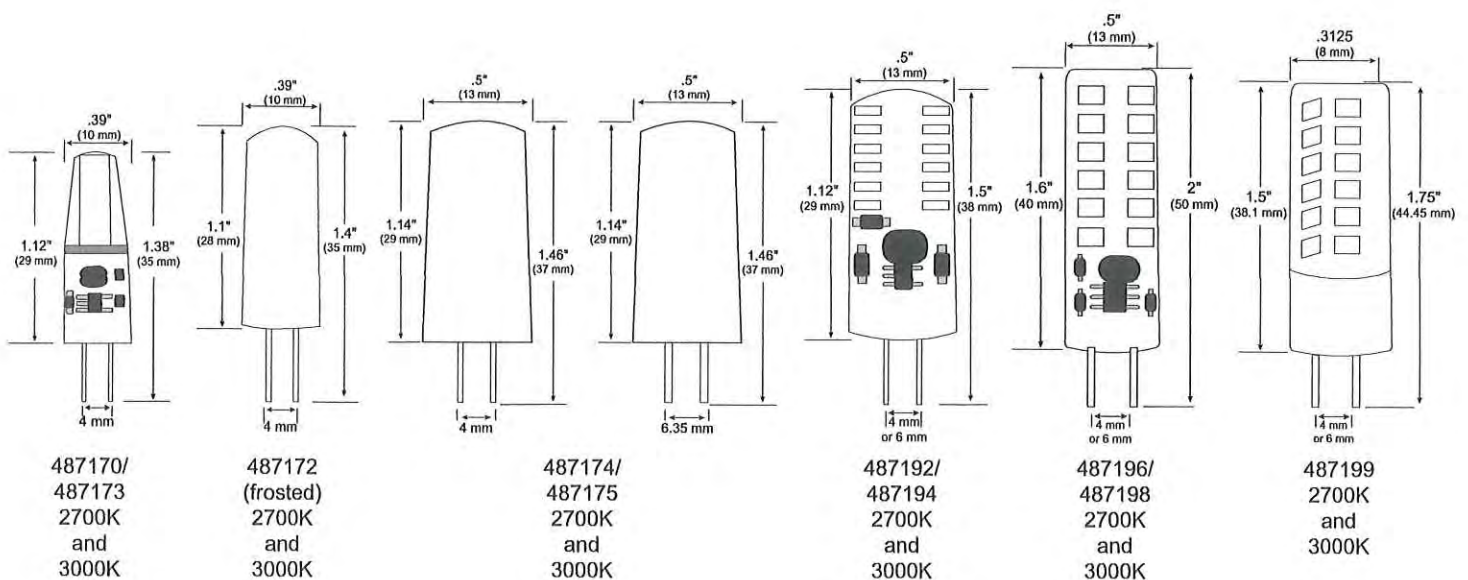
3W
487174/
487175
2700K
and
3000K

3W
487192/
487194
2700K
and
3000K

4W
487196/
487198
2700K
and
3000K

4W
487199
2700K
and
3000K

DIMENSIONS:



LED LAMP ORDERING CODES

CODE	DESCRIPTION	WATTAGE	COLOR TEMP.	NO. OF DIODES	LUMENS	EFFICACY	BASE
487170-2700K	LED-ENC-G4-2COB-12V-2700K-C	2W	2700K	2	210	105 lm/W	G4
487170-3000K	LED-ENC-G4-2COB-12V-3000K-C	2W	3000K	2	210	105 lm/W	G4
487172-2700K	LED-ENC-G4-2COB-12V-2700K-F	2W	2700K	2	210	105 lm/W	G4
487172-3000K	LED-ENC-G4-2COB-12V-3000K-F	2W	3000K	2	210	105 lm/W	G4
487173-2700K	LED-ENC-GY6.35-2COB-12V-2W-2700K-C	2W	2700K	-	210	105 lm/W	GY.6.35
487173-3000K	LED-ENC-GY6.35-2COB-12V-2W-3000K-C	2W	3000K	-	210	105 lm/W	GY.6.35
487174-2700K	LED-ENC-G4-3COB-12V-3W-2700K-C	3W	2700K	-	300	100 lm/W	G4
487174-3000K	LED-ENC-G4-3COB-12V-3W-3000K-C	3W	3000K	-	320	106 lm/W	G4
487175-2700K	LED-ENC-GY6.35-3COB-12V-3W-2700K-C	3W	2700K	-	300	100 lm/W	GY.6.35
487175-3000K	LED-ENC-GY6.35-3COB-12V-3W-3000K-C	3W	3000K	-	320	106 lm/W	GY.6.35
487192-2700K	LED-ENC-G4-2835SMD-12V-3W-2700K	3W	2700K	48	230	77 lm/W	G4
487192-3000K	LED-ENC-G4-2835SMD-12V-3W-3000K	3W	3000K	48	230	77 lm/W	G4
487194-2700K	LED-ENC-GY6.35-2835SMD-12V-3W-2700K	3W	2700K	48	230	77 lm/W	GY.6.35
487194-3000K	LED-ENC-GY6.35-2835SMD-12V-3W-3000K	3W	3000K	48	230	77 lm/W	GY.6.35
487196-2700K	LED-ENC-G4-2835SMD-12V-4W-2700K	4W	2700K	48	280	70 lm/W	G4
487196-3000K	LED-ENC-G4-2835SMD-12V-4W-3000K	4W	3000K	48	280	70 lm/W	G4
487198-2700K	LED-ENC-GY6.35-2835SMD-12V-4W-2700K	4W	2700K	48	280	70 lm/W	GY.6.35
487198-3000K	LED-ENC-GY6.35-2835SMD-12V-4W-3000K	4W	3000K	48	280	70 lm/W	GY.6.35
487199-2700K	LED-ENC-GY6.35-SMD2835-12V-4W-2700K-HO	4W	2700K	39	440	110 lm/W	GY.6.35
487199-3000K	LED-ENC-GY6.35-SMD2835-12V-4W-3000K-HO	4W	3000K	39	440	110 lm/W	GY.6.35



STAFF REVIEW

Date: February 6th, 2023 **Meeting Date & Time:** Monday, February 12th 2024 at 6:00 p.m.

To: Plan Commission, Village of Chenequa

From: Planning Department

Subject: Site Plan Review

Landscaper: Scott Byron and Company

Owner: Curt and Sue Culver

Location: 4724 N Pinecrest Drive

Project Description: Landscape Plan

Zoning District: Residence District- Lot Abutting Lake

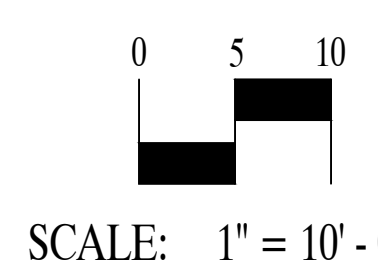
	REQUIRED RES. DISTRICT		PROPOSED PROJECT	
LOT AREA:	4.5	Acres	4.68	Acres
LOT WIDTH: AVERAGE	150	L.F. min.	150	L.F.

COMMENTS:

1. The applicants propose to install hardscaping and soft scaping around the existing primary dwelling.
2. This is a legal conforming lot
3. This proposed project includes:
 - a. Re- tuckpointing the existing brick walkway up to the primary residence entrance.
 - b. Adding a flagstone walkway with granite boulder steps along the north property boundary (see photo book for samples)
4. Planting an assortment of trees, shrubs and grasses around the property (See landscape plan prepared by Scott Byron)
5. Photos of materials to be used have been supplied in your packets.

c: Dan Neumer, Administrator
Deanna Braunschweig, Clerk

Paul Launer, Lake Country Inspections
Curt and Sue Culver, Owner
Cody Lincoln, Zoning Administrator



CULVER RESIDENCE
4724 PINECREST DRIVE
HARTLAND, WISCONSIN

SHEET NO.
L-03.1

JOB NO.
23-187



Art in harmony
with nature.

Landscape Architecture, Contracting and Maintenance

SAMPLE IMAGES

Prepared for
The Culver Residence
4724 Pinecrest Dr
Hartland, WI 53058

October 25, 2023



Ornamentals

'Golden Glory' Corneliancherry Dogwood

Redbud

Corneliancherry Dogwood 'Golden Glory'



Redbud



Evergreens

Green Giant Arborvitae

Green Velvet Boxwood

Norway Spruce

Green Giant Arborvitae



Green Velvet Boxwood



Norway Spruce



Shrubs

Blackhaw Viburnum

Incrediball Hydrangea

Limelight Prime Viburnum

Little Lime Hydrangea

‘Miss Kim’ Lilac

Oakleaf Hydrangea

Quick Fire Hydrangea

Tor Birchleaf Spirea

Blackhaw Viburnum



Incrediball Hydrangea



Limelight Prime Hydrangea



Little Lime Hydrangea



'Miss Kim' Dwarf Lilac



Oakleaf Hydrangea



Quickfire Hydrangea



Birchleaf Spirea



Groundcovers

Liriope

Pachysandra

Liriope
(Creeping Lilyturf)



Purpleleaf Wintercreeper



Perennials

Astilbe

Lady's Mantal

Ligularia

Astilbe (Various)



'Peach Blossom'



'Purple Candles'



'Maggie Daley'



'Fanal'



'Pumila'



'White Gloria'

Lady's Mantle



Ligularia 'Britt-Marie Crawford'



Image Photos

Wisconsin Boulder Slab Steps

Irregular Flagstone Steppers with Pea Gravel

Perennial Borders

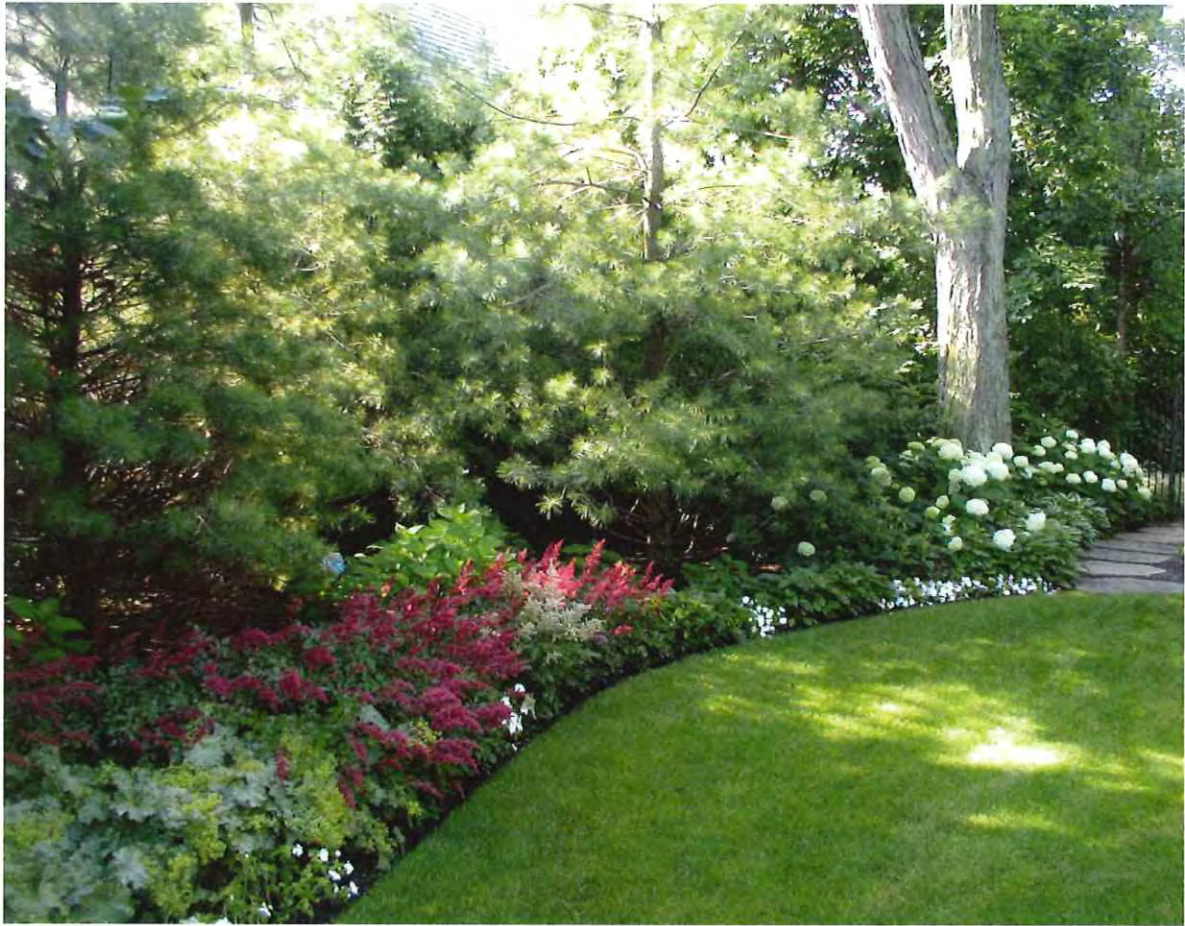




















STAFF REVIEW

Date: February 6, 2024

Meeting Date & Time: Monday, February 12th at 6:00 p.m.

To: Plan Commission, Village of Chenequa

From: Planning Department

Subject: Site Plan Review

Architect/Builder: Regency Design Group

Owner: Travis Theisen

Location: 7285 N STH 83

Project Description: New Accessory Structure

Zoning District: Residence District – Lot Abutting a Lake

ACCESSORY STRUCTURE:	REQUIRED RES. DISTRICT		PROPOSED PROJECT	
LOT AREA:	2	acres	5.3	Acres
LOT WIDTH: AVERAGE	150	L.F. min.	210	L.F.
YARD SETBACKS: Side(North)	14.5	ft. min.	26.5	ft.
Lake (West)	75	ft. min.	250+	ft.
Rear (East)	75	ft. min.	600+	ft.
Side (South)	14.5	ft. min.	103.8	ft.
BUILDING HEIGHT:	35	ft. max	29	ft.

Proposed Accessory Structure

1. The applicant proposes to construct a two-story accessory structure.
2. The dimensions of this proposed accessory structure are 36.5'x 65'
3. As proposed, this structure will not have plumbing incorporated
4. There are no cooking or sleeping quarters proposed for this structure
5. The proposed detached accessory structure is over one hundred (100) feet to any existing single-family structure on an adjoining lot which complies with section Sec. 6.5(c)(i).

6. This structure is proposed to be sheathed with green lap siding to match the existing dwelling. (See color rendering)
7. An exterior light option has not been submitted
8. A building permit is required from the Building Inspector prior to start of construction.

c: Dan Neumer, Administrator
Deanna Braunschweig, Clerk
Paul Launer, Lake Country Inspections
Travis Theisen, Owner
Cody Lincoln, Zoning Administrator

Regency Design Group

N.A.
N.A.
N.A.
N.A

Project Manager:

N.A.
N.A.
N.A

Design Coordinator:

Jack Bertram
262.825.6958
jackbertram1245@gmail.com



Scope / Project Information:

Detached Garage Addition

- Additional Car Space and Storage

Zoning / Code / Ordinance / AHJ Information:

- City of Chenequa

- Waukesha County

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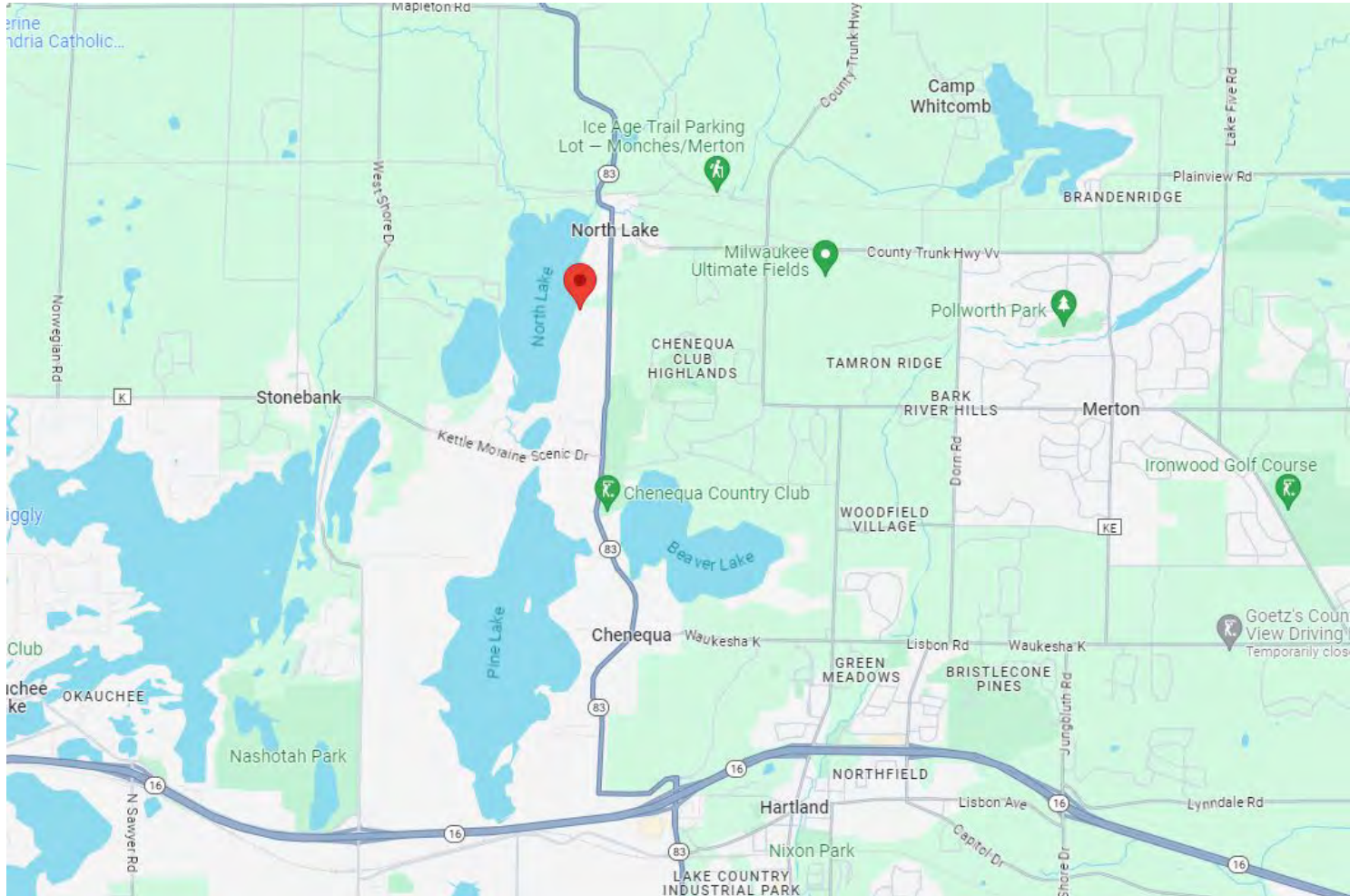
XXX

TheTr
Theisen Garage Addition

7285 WI-83, Hartland, WI 53029

TheTr
Theisen Garage Addition
7285 WI-83, Hartland, WI 53029
XXX

Site
Map



Vacinity
Map

We (I) approve of the Pre-design / Site Analysis documents and authorize Regency Architectural Inc. to move forward to the Schematic Design Phase.

Signature of Homeowner: _____ Date _____

Signature of Homeowner: _____ Date _____

General Contractor:

Company
Address
Address
number
website
Contact Name
Contact Number
Contact Email

Electrical Contractor:

Company
Address
Address
number
website
Contact Name
Contact Number
Contact Email

Civil Engineer:

Company
Address
Address
number
website
Contact Name
Contact Number
Contact Email

HVAC/Plumbing:

Company
Address
Address
number
website
Contact Name
Contact Number
Contact Email

Structural Engineer:

Company
Address
Address
number
website
Contact Name
Contact Number
Contact Email

Design /
Construction
Team

- A-09 SITE PLAN
A-010 FOUNDATION PLAN
A-111 FIRST LEVEL PLAN
A-112 MAIN LEVEL DIMENSION PLAN
A-121 SECOND LEVEL PLAN
A-122 SECOND LEVEL DIMENSION PLAN
A-191 ROOF PLAN
A-201 EXTERIOR ELEVATION / VIEWS
- N/S
A-202 EXTERIOR ELEVATION / VIEWS
- E/W
A-301 BUILDING SECTIONS
A-302 BUILDING SECTIONS
A-321 WALL SECTIONS
A-501 DETAILS
A-601 WINDOW SCHEDULE AND DETAILS
A-611 DOOR SCHEDULE AND DETAILS
A-901 3D VIEWS
A-902 RENDERINGS

Drawing
Index

ISSUED
PRINTED 1/7/2024 7:47:10 PM

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Wisconsin.

XXX

Signature

Date 11/28/23_Reg. No. #####

SEAL

PROJECT 2301


COVER SHEET

SHEET TITLE

G-001

SHEET NO.

ABBREVIATIONS

 HATCH / MATERIAL SYMBOLS LEGEND

TAG SYMBOLS

ELECTRICAL LEGEND

DEMOLITION LEGEND

 LANDSCAPE LEGEND

3, Har

PRINTED 1/7/2024 7:47:10 P

XXX
Name _____

Date 11/28/23 Reg. No. #####
SEAL _____

DRAWN BY Author

GENERAL

SHEET TITLESHEET NO. _____

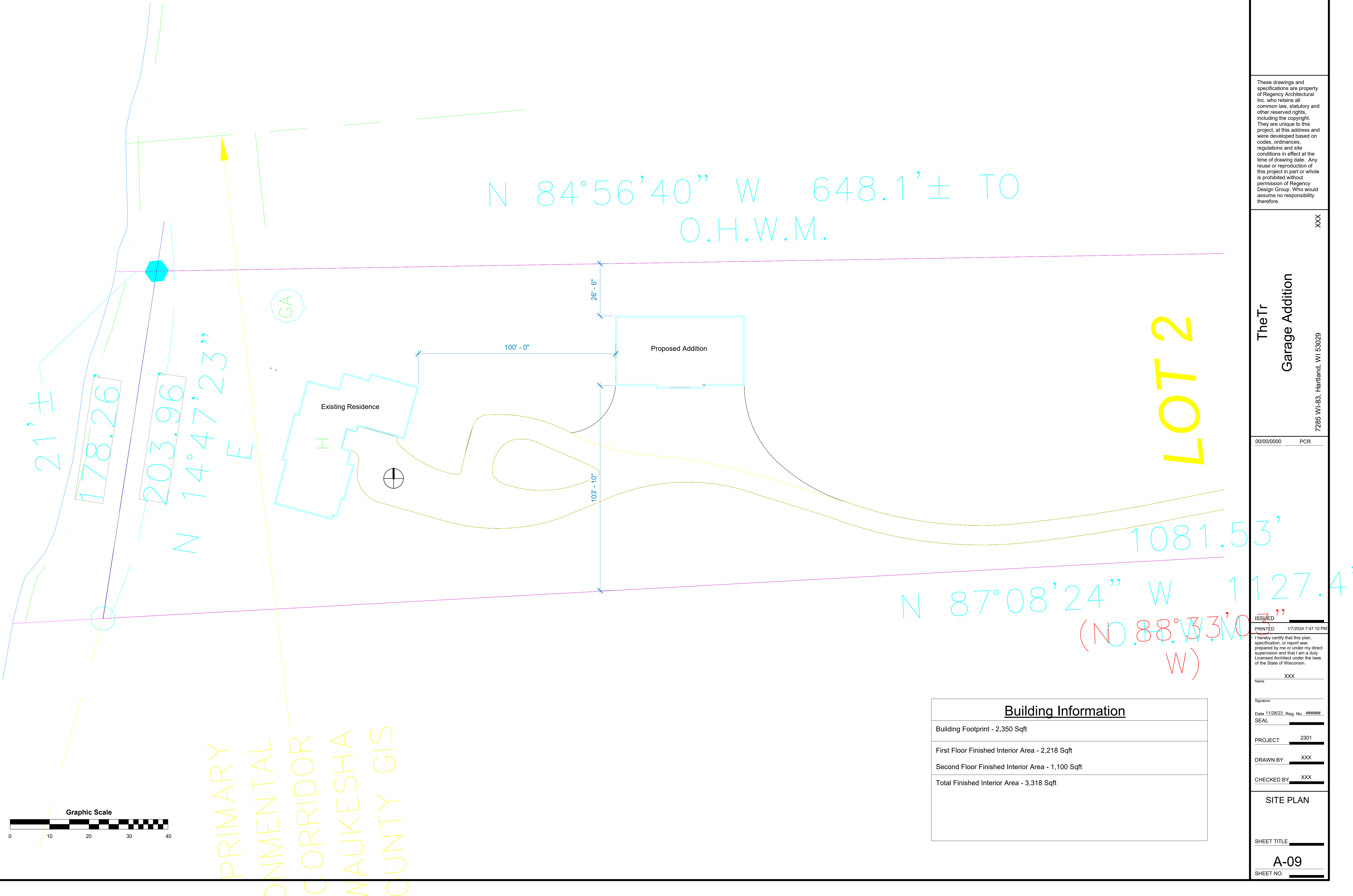
TheTr
Garage Addition
7285 WI-83, Hartland, WI 53029
xxx

3'
27.

hereby certify that this plan,
specification, or report was
prepared by me or under my direct
supervision and that I am a duly
licensed Architect under the laws
of the State of Wisconsin.

TESTED BY _____

SHEET NO. _____

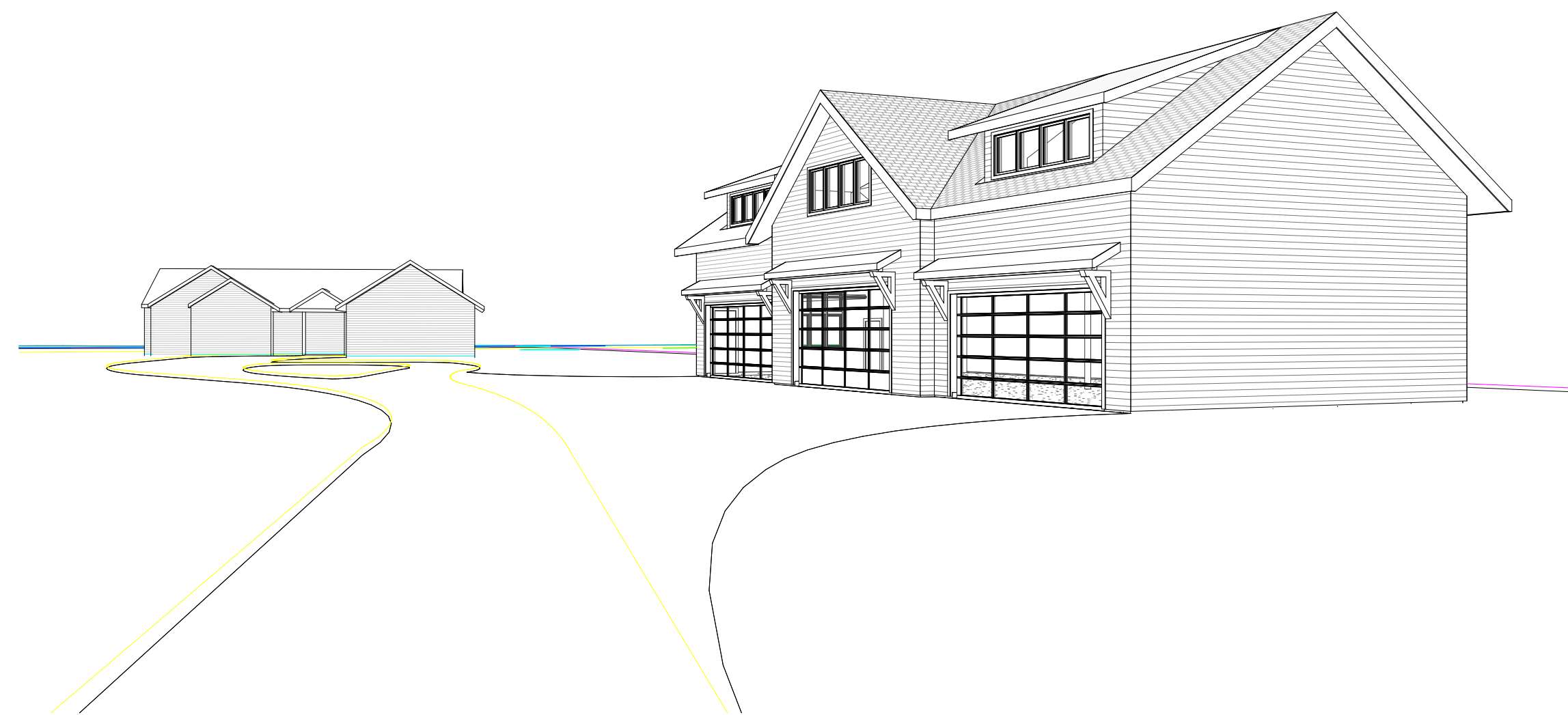




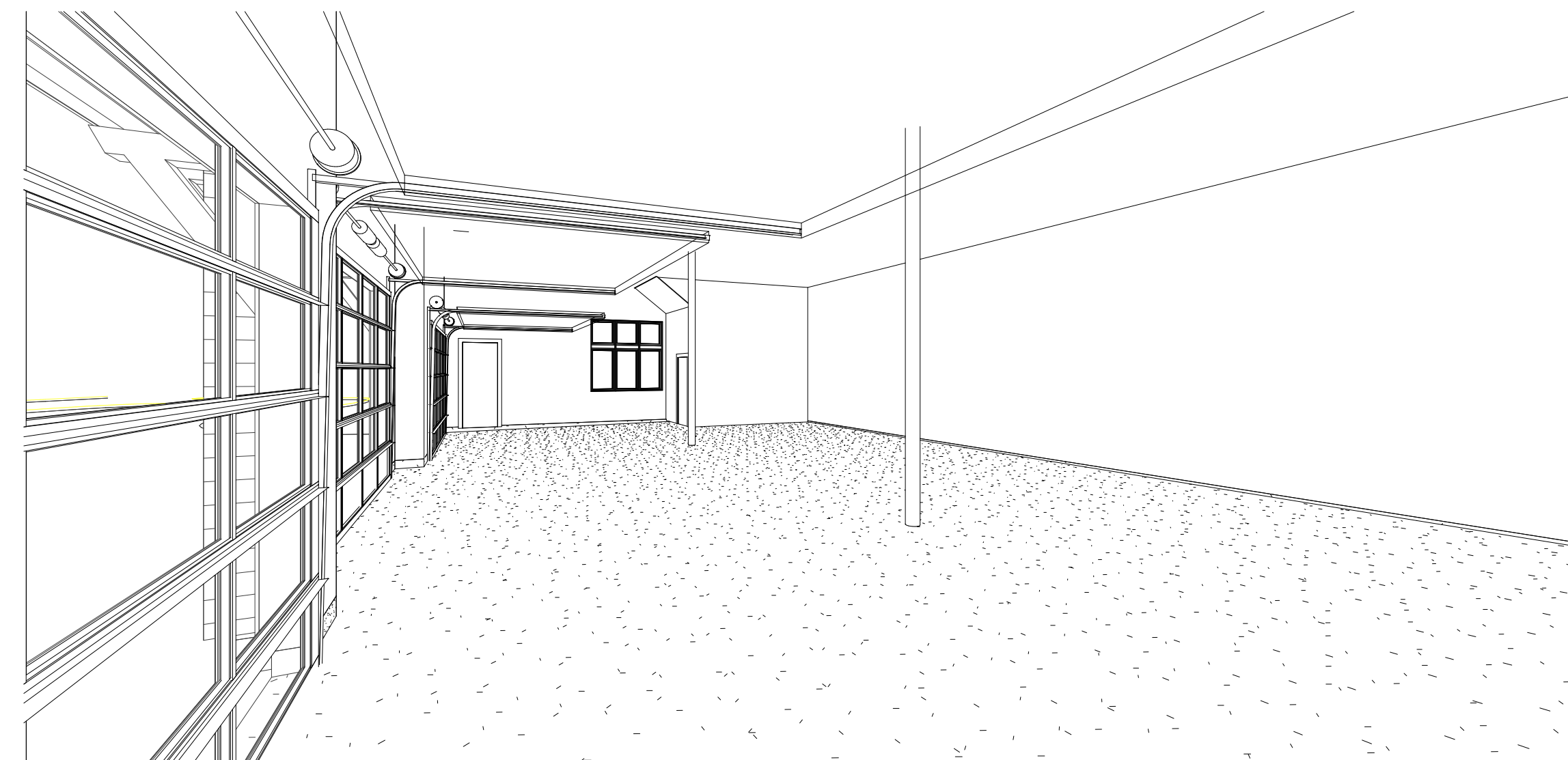
1 3D View 2
A-901



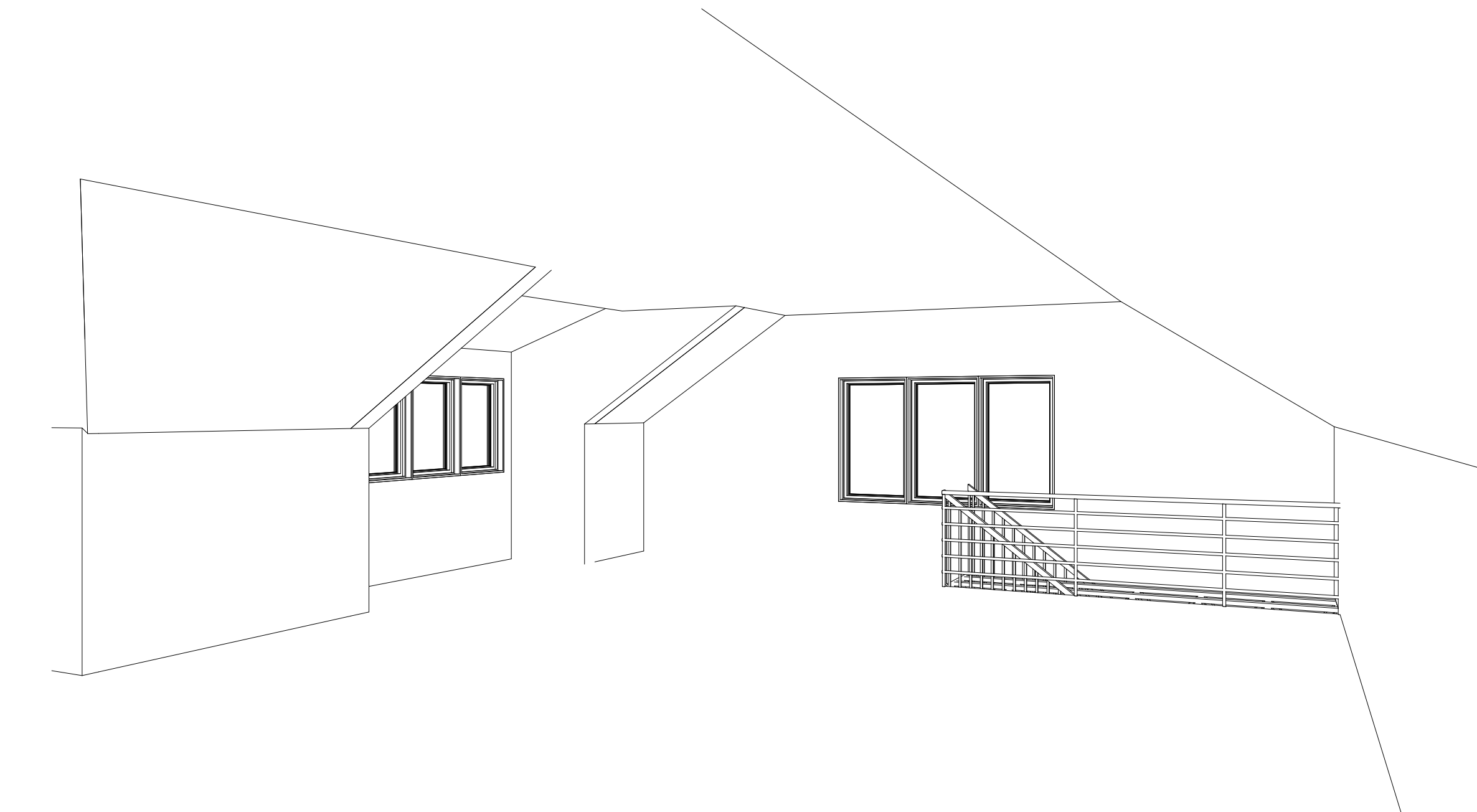
3 3D View 4
A-901



2 3D View 3
A-901



5 3D View 1
A-901



4 3D View 7
A-901

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XXX

The Tr Garage Addition

7285 WI-83, Hartland, WI 53029

00/00/0000 PCR

ISSUED

PRINTED 1/7/2024 7:47:14 PM

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Wisconsin.

XXX
Name

Signature

Date 11/28/23_Reg. No. #####

SEAL

PROJECT 2301

DRAWN BY XXX

CHECKED BY XXX

3D VIEWS

SHEET TITLE

A-901

SHEET NO.



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7285 WI-83, Hartland, WI 53029
The Tr
Garage Addition
XXX

00/00/0000 PCR

ISSUED

PRINTED 1/7/2024 7:47:14 PM

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Wisconsin.

XXX
Name

Signature

Date 11/28/23_Reg. No. #####

SEAL

PROJECT 2301

DRAWN BY XXX

CHECKED BY XXX

RENDERINGS

SHEET TITLE

A-902

SHEET NO.



STAFF REVIEW

Date: February 6, 2024

Meeting Date & Time: Monday, February 12th at 6:00 P.M.

To: Plan Commission, Village of Chenequa

From: Planning Department

Subject: Site Plan Review

Architect: Galbraith Carnahan Architects

Owner: Carl and Mary Alice Eschweiler

Location: 32016 W County Road K

Project Description: Proposed Remodel/Addition to a Legal-Nonconforming Structure

Zoning District: Residence District - Lot Abutting a Lake

COMMENTS:

Proposed New Dwelling

	REQUIRED RES. DISTRICT		PROPOSED PROJECT	
LOT AREA:	2	acres	12.65	acres
LOT WIDTH: AVERAGE	150	L.F. min.	384	L.F.
YARD SETBACKS: Lake (East)	75	ft. min.	68'	ft.
Rear (South)	75	ft. min.	250+	ft.
Lake (North)	75	ft. min.	17.5	ft.
Side (West)	10	ft. min.	79.6	ft.
BUILDING HEIGHT:	40	ft. max	19	ft.
Living Area Square Footage	13,000	sq ft max	975	sq ft

1. The applicant has submitted plans to modify and add-on to an existing legal non-conforming dwelling on the shore of Cornell Lake.
 - a. This structure is legal-nonconforming because it currently lies partially within the 75' riparian setback.
 - b. This structure is also nonconforming because it is the second structure with cooking and sleeping facilities on the property.
 - i. 6.7(4)(c) states: *"In addition, a legal nonconforming structure which is nonconforming solely because it is located in part within the shoreline buffer zone and because portions of it are seventy-five (75) feet or less*

from the ordinary high-water mark of any navigable water, lake, pond, flowage, river or stream may be modified to increase either its footprint, living area or height where all modifications and all changes constituting either a building or structure alteration or reconstruction take place outside of the shoreline buffer zone or more than seventy-five (75) feet from the ordinary high water mark. No such modification shall expand the nonconformity within the shoreline buffer zone.”

- c. Page A001 provided by Galbraith Carnahan Architects depicts the portion of the structure that is partially within the 75’ setback from the OHWM of Cornell Lake.

Addition

1. The proposed addition is vestibule entryway.
2. The addition portion is proposed to be 23 square feet in total.
3. New siding will be conventional lap siding to match the existing dwelling
4. The addition is outside the 75’ setback from Cornell Lake.
5. See A200 in the provided plans for material sample photos

Modifications

1. Aside from the addition portion of the project, the applicants are also seeking permission to modify the existing cottage structure. These modifications include:
 - a. Closing-in and conditioning the screened in porch on the lakeside of the home
 - b. Modifying the roof structure on the porch from a flat roof to a vaulted roof with asphalt shingles
 - c. Closing-in and conditioning the area beneath the porch on the lakeside of the home
 - d. Conditioning a. and c. listed above would change the use of these spaces to “living area” according to 6.3(27). This modification would violate **6.7(4)(b)**

6.7(4)(b) *A legal nonconforming structure that is located within the shoreline buffer zone or seventy-five (75) feet or less from the ordinary high-water mark of any navigable water, lake, pond, flowage, river or stream may, at the option of the owner, be modified, during its lifetime so long as such modification does not increase the footprint, living area or height of the structure. The roof of a legal nonconforming structure that is located within the shoreline buffer zone may be used as a deck if the structure has a flat roof with no side walls or screens; provided that the roof must pitch away from the lake and that open handrails under three and one-half (3½) feet tall may be constructed on the roof of the structure. Notwithstanding anything to the contrary herein, an owner may increase the height of a nonconforming accessory structure if necessary to address modifications or repairs to the accessory structure’s roof so long as such modification or repair does not increase the accessory structure’s useable area.*

- e. Installation of new windows and doors around the project area of these modifications

2. Page A900 represents an as viewed from the lake drawing
3. See A200 in the provided plans for material sample photos

Landscape

4. The applicant also proposes to remove the existing block wall on the west side of the structure and replace it with a new wall
 - a. The new wall will be constructed of fieldstone (see sample photo on G100)
 - b. The new wall will also incorporate stone steps (see sample photo on G100)
 - c. yard setback
5. There are currently no proposed trees to be removed within the 75' setback of Pine Lake
6. If one acre or more of land is to be disturbed, a DNR land disturbance permit shall be obtained at least fourteen (14) days prior to beginning of construction.

General Notes

1. The home remains greater than fifty (50) feet to any existing single-family structure which complies with Sec. 6.5(4)(c)(i).
2. This dwelling has 975 square feet of livable space in total.
3. If it is determined the building site grading plan needs further review for storm water management, a storm water and grading plan shall be reviewed by an engineer of the Village's choice and paid for by the applicant.
4. A sanitary permit shall be obtained from Waukesha County prior to permit issuance. You may obtain the application at www.waukeshacounty.gov/eh.
5. A building permit is required from the Building Inspector prior to start of construction.

c: Dan Neumer, Administrator
Deanna Braunschweig, Clerk/Treasurer
Paul Launer, Lake Country Inspections
Carl and Mary Alice Eschweiler, Owner
Galbraith Carnahan Architects
Cody Lincoln, Zoning Administrator

ESCHWEILER COTTAGE

32016 W. COUNTY ROAD K CHENEQUA WI. 53029



EXISTING CONSTRUCTION



PROPOSED CONSTRUCTION

PERSPECTIVES USED TO CONVEY GENERAL LOOK OF THE DESIGN.
SEE SUBSEQUENT DRAWINGS FOR DETAILS AND DIMENSIONS.

ABBREVIATIONS

# & @	Found OR Number And At	D	Double
ACCT	Acoustic Ceiling Tile	DEMO	Demolish or Demolition
AD	Area Drain	DIA	Diameter
ALUM	Aluminum	DIM	Dimension
ANOD	Anodized	DIMS	Dimensions
APPROX	Approximately	DISP	Dispenser
B	Bank Equipment Supplier	DN	Down
BES	Blocking	DR	Door
BLKGD	Bulkhead	DS	Downspout
BRG	Bearing	DTL	Detail
BSMT	Basement	DWG	Drawing
BT	Base Tie	EA	Each
BYND	Beyond	EIPS	Exterior Insulation Finish System
BO	Bottom Of	EJ	Expansion Joint
BOT	Bottom	EL	Elevation
C	Cabinet	ELEC	Electrical
CIP	Cast In Place	ELEV	Elevator or Elevation
CHNL	Channel	EPDM	Ethylene Propylene Diene M-Class (Roofing)
CJ	Channel Joint	EQ	Equal
CL	Closet	ETR	Existing To Remain
CLG	Ceiling	EXT	Existing
CLR	Clear	EXP	Expansion
CM	Construction Manager	EXPJT	Expansion Joint
CNU	Concrete Masonry Unit	EXT	Exterior
COL	Column	F	Floor Drain or Fire Department
COMPR	Compressible	FE	Fire Extinguisher
CONC	Concrete	FEK	Fire Extinguisher Cabinet
CONC BLK	Concrete Block	FIN FLR	Finished Floor
CONT	Continuous	FIXT	Fixture
CONTR	Contractor	FLR	Floor
CPT	Carpet	FLSHG	Flooring
CRS	Courtesy	FM	Filled Metal
CT	Ceramic Tile	FO	Face Of
CTB	Ceramic Tile Base	FT	Foot
CTYD	Courtyard	FTG	Footing
		FND	Foundation

G		N	Not In Contract
GA	Gauge	NO	Number
GALV	Galvanized	NOM	Nominal
GB	Grab Bar		
GWB	Gypsum Wall Board	O	On Center
H		OC	Opposite Hand
HC	Hollow Core	OPNG	Opening
HWD	Headerwood	OZ	Ounce
HDR	Header	P	Pre-Cast Concrete
HI	High	PLUMB	Plumbing
HM	Hollow Metal	PLAM	Plastic Laminate
HORIZ	Horizontal	PLUMB	Plumbing
HP	High Point	PLYWD	Plywood
HR	Hour	PASH	Pole & Shelves / Shelf
HT	Height	PREFIN	Prefinished
HRDB	Hardboard	PT	Pressure Treated
HVAC	Heating, Ventilating, And Air Conditioning	PNT	Paint or Painted
I		PVC	Polyvinyl Chloride
IRCWB	Impact Resistant Gypsum Wall Board	R	Rubber Base
ILO	In Lieu Of	RB	Rubber
INSTR	Instructions	RBR	Reflected Ceiling Plan
INSUL	Insulated or Insulation	RD	Roof Drain
INT		REF	Refrigerator
J		REINF	Reinforced
JNT	Joint	REDD	Required
		RM	Room
MAX	Maximum	S	Sheathing
M	Manufacturer	SHTFG	Sheet Flooring
MC	Masonry Opening	SI	Similar
MECH	Mechanical	SIM	Similar
MECBR	Membrane	SPEC	Specified OR Specification
MICRO	Microwave	SPK	Speaker or Speaker
MIN	Minimum	SS	Stainless Steel
MISC	Miscellaneous	ST	Stain
MROW	Moisture Resistant Dry Wall	STC	Sound Transmission Coefficient
MRGBW	Moisture-Resistant Gypsum Wall Board	STL	Steel
MTR	Metal	STRUCT	Structure or Structural
MTR	Mortar		

T&G	Tongue And Groove	U	Unless Noted Otherwise
TELE	Telephone	UNO	Underneath
TLT	Toilet	US	Underneath
TO	Top Of	V	Vinyl Base
TOC	Top Of Concrete	VCT	Vinyl Composition Tile
TOS	Top Of Steel	VERT	Vertical
TPD	Toilet Paper Dispenser	VIF	Verify In Field
T.D	Telephone/Data	VP	Vision Panel
TYP	Typical	VWC	Vinyl Wall Covering
W	With		
WD	Wood		
WDW	Window		

SYMBOL KEY

--- A ---	COLUMN GRID LINE - SEE STRUCTURAL DRAWINGS	(100A)	DOOR NUMBER - SEE DOOR SCHEDULE.
ROOM NAME 100	ROOM NAME & NUMBER	A	WINDOW TYPE - SEE WINDOW SCHEDULE.
A200	ELEVATION TAG		NEW DOOR - SEE DOOR SCHEDULE
A300	SECTION TAG		EXISTING DOOR - SEE DOOR SCHEDULE
A100	DRAWING TITLE		INTERIOR ELEVATION TAG I.E. ELEVATION ON SHEET A400 DETAILS 1, 2, 3, 4
B	WALL TAG		DETAIL TAG I.E. DETAIL 1 ON SHEET A500
8'-0"	HEIGHT TAG		T.O. FOUND. = SPOT ELEVATION MARKER

SHEET INDEX

ID	NAME
G100	COVER SHEET
A001	ARCHITECTURAL SITE PLAN
A101	BASEMENT FLOOR PLAN
A102	FIRST FLOOR PLAN
A103	ROOF PLAN
A200	ELEVATIONS
A201	ELEVATIONS
A300	VIEW FROM LAKE



6404 West North Avenue
Milwaukee, Wisconsin 53213
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CONSULTANTS:

ESCHWEILER COTTAGE
32016 W. COUNTY ROAD K CHENEQUA WI. 53029

DRAWING ISSUE DATE
PLAN COMMISSION 12.19.23

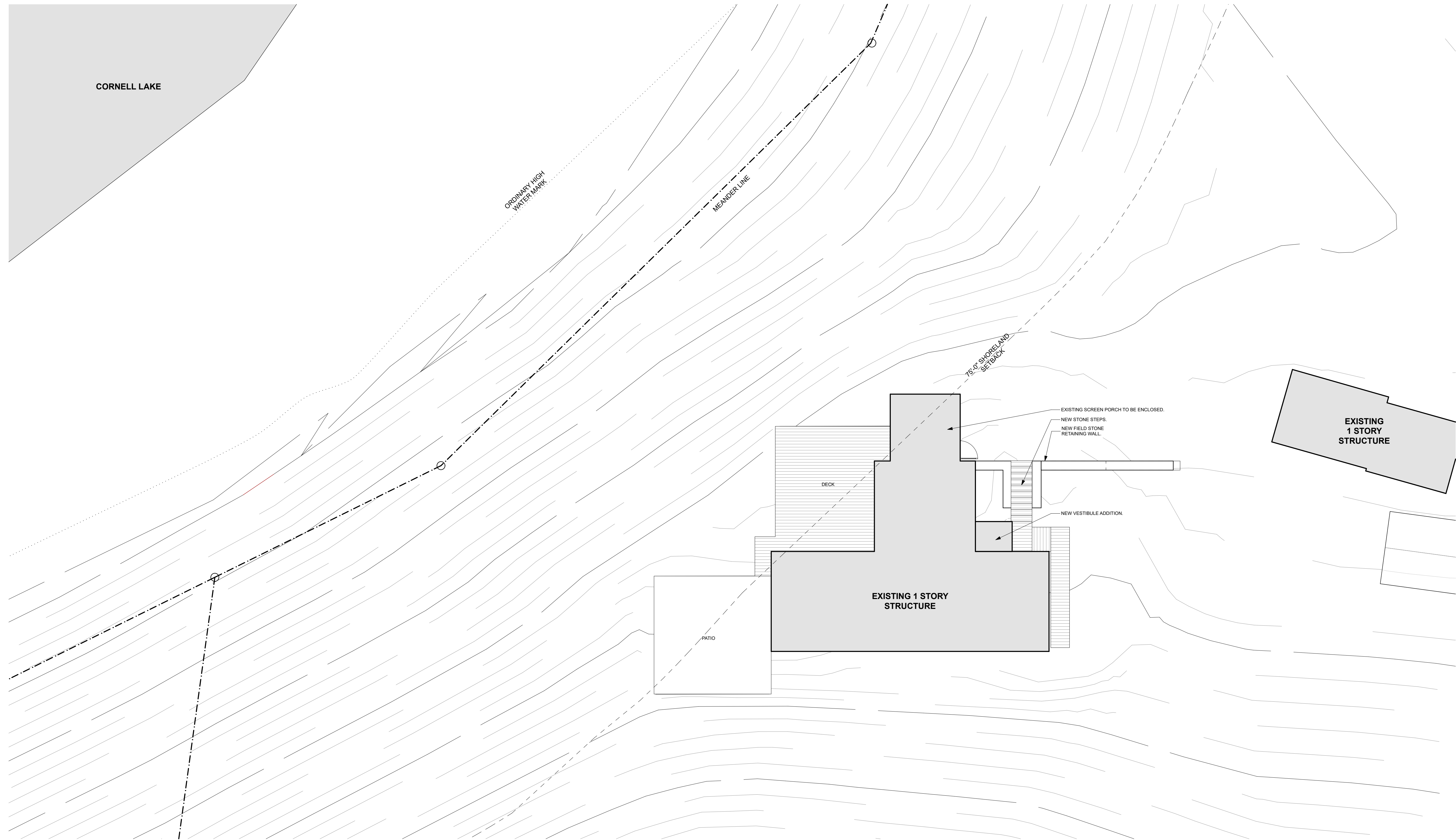
PROJECT # 23.02


COVER SHEET

G100

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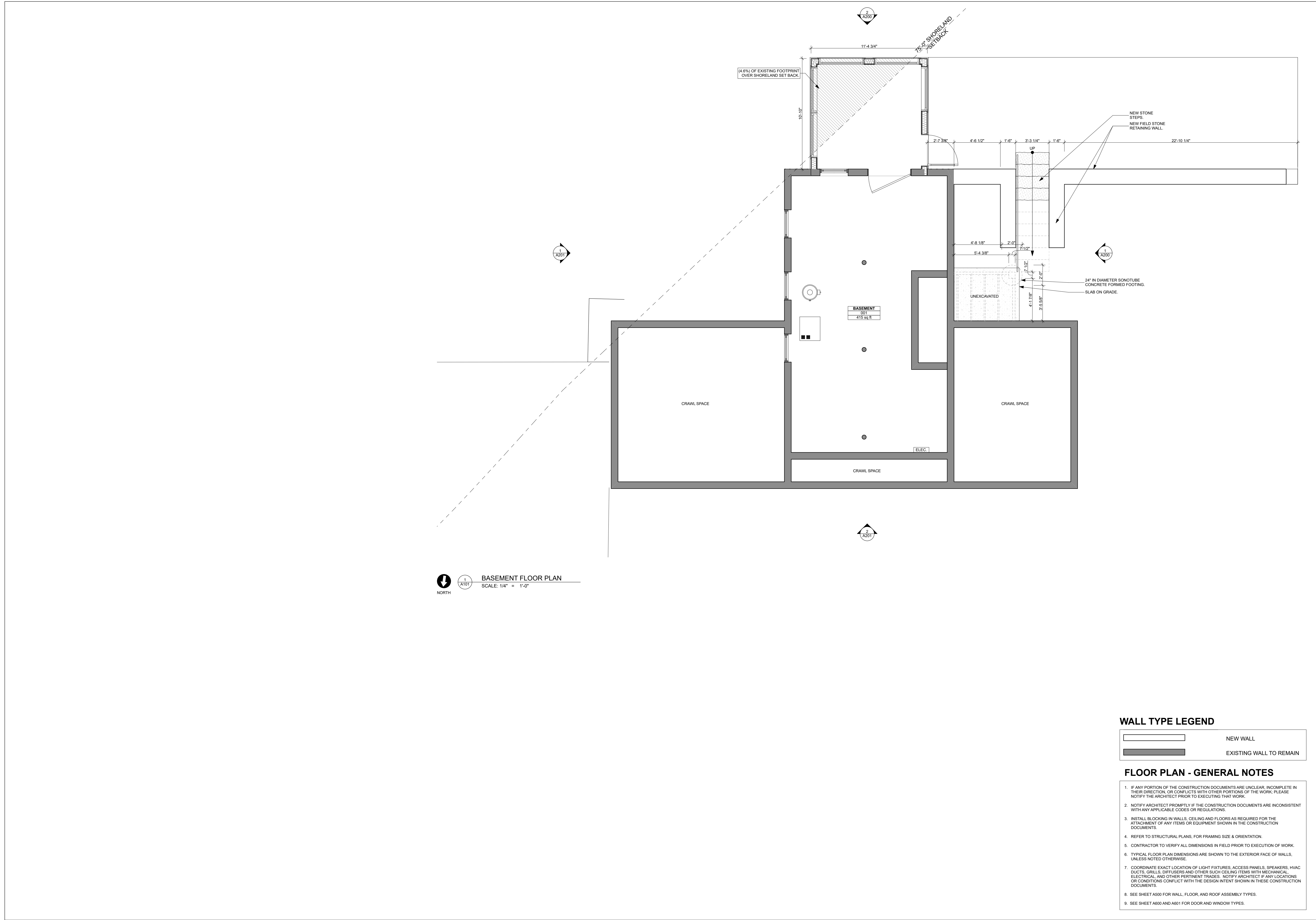
NOT FOR CONSTRUCTION



 **ARCHITECTURAL SITE PLAN**
SCALE: 1/8" = 1'-0"

SITE PLAN - GENERAL NOTES

1. THE DETAILS OF CONSTRUCTION IN THIS PROJECT ARE OF CRITICAL IMPORTANCE TO BOTH THE CLIENT AND ARCHITECT. IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS IS UNCLEAR, INCOMPLETE IN ITS DIRECTION, OR CONFLICTS WITH OTHER PORTIONS OF THE WORK, PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK.
2. NOTIFY ARCHITECT PROMPTLY IF THE INFORMATION SHOWN IN ONE PORTION OF THE CONSTRUCTION DOCUMENTS CONFLICTS WITH THAT SHOWN IN ANOTHER.
3. NOTIFY ARCHITECT PROMPTLY IF THE CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH ANY APPLICABLE CODES OR REGULATIONS.
4. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK.
5. ALL PAVING, SCORE LINES, WALLS, AND OTHER MISC. SITE IMPROVEMENTS ARE LAID OUT PERPENDICULAR OR PARALLEL TO THE BUILDING UNLESS NOTED OTHERWISE.
6. VERIFY LOCATION OF ALL OVERHEAD AND UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF WORK.
7. CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL ORDINANCES.
8. SEE LANDSCAPE DRAWINGS FOR FULL SCOPE. ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY.



NOT FOR CONSTRUCTION



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32016 W. COUNTY ROAD K CHENEQUA WI. 53029

DRAWING ISSUE DATE
PLAN COMMISSION 12.19.23

PROJECT # 23.02

BASEMENT FLOOR
PLAN

A101

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ARCHITECTS LLC



VIEW OF COTTAGE FROM LAKE.

ESCHWEILER COTTAGE

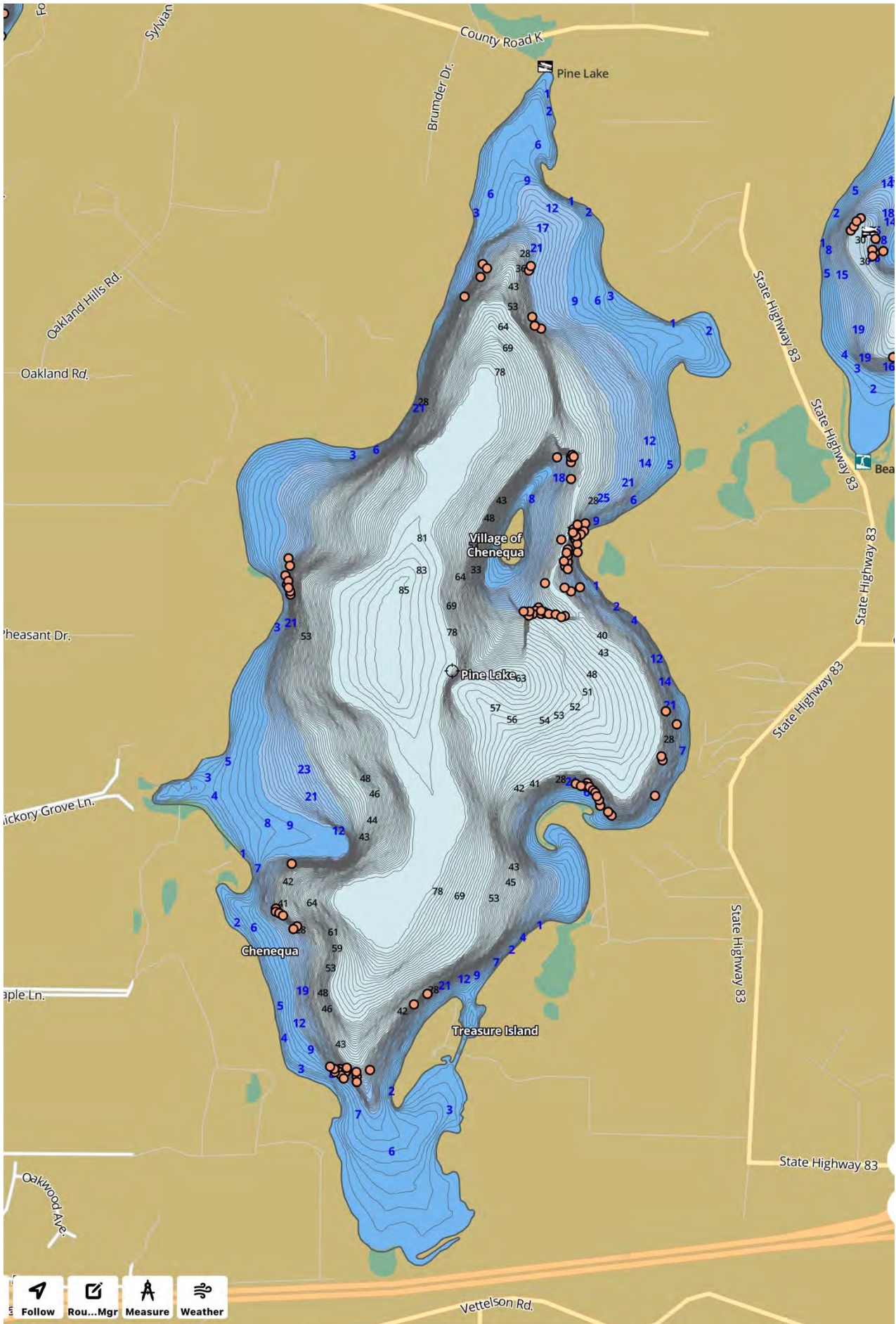
32016 W. COUNTY ROAD K CHENEQUA WI. 53029

Proposal: Wakeboating Guidelines Village Board February 2024

The Lake Management Committee proposes 10 voluntary guidelines for wakeboating on Pine Lake. These would be distributed via PLYC, Windword, PLSS, Chenequa boating education classes, Village website and posted at the landing with a depth and weed map (attached.)

Additional recommendation of survey/boat log of boat type by officer on duty at landing Thursday to Sun to assess off-lake wakeboat pressure. This will help focus educational efforts on residents and off-lake wakeboats.

- 1) Deep water runs only in greater than 20 feet of water. Stay out of all shallow bays.
Surf, board and empty ballast in deep water only so as to not disturb sediment.
- 2) You must be 200 feet from shore, pier or moored boat.
- 3) When passing between shore and the island stay in the middle on either side.
- 4) Stay as far away from piers as you can, turn your wake away from closest piers.
- 5) Stay out of all weed beds. Slow-no-wake if you must land through a weed bed.
- 6) Maintain full visibility ahead with help of a spotter if need be re swimmers, kayakers and SUPs.
- 7) When the lake is busy, wait your turn. Spaced sequential runs are better than parallel runs to avoid wave addition or amplification impacting our shoreline. Common boating courtesy should prevail.
- 8) Respect our sailors: avoid all sailboats, sailing classes, sailboat races and regattas in session.
Sailboats have right-of-way.
- 9) Keep your music volume down.
- 10) All State of WI/Chenequa boating ordinances apply to you and will be enforced.





LAKE COUNTRY MUNICIPAL COURT

630 E. Wisconsin Avenue
Oconomowoc, WI 53066
Tel: 262-569-0920

Clerk Theresa Berlin
clerk@lcmunict.org

Deputy Clerk Tracy Dricken
deputyclerk@lcmunict.com

Honorable Timothy T. Kay

www.lcmunict.com

MEMO

To: Lake Country Municipal Court Communities

From: Donald Wiemer, Chair, Administrative Committee

Date: January 10, 2024

Reference: Municipal Ordinance and 66.0301 Successor Agreement

Attached are two documents for your review and municipal approval. These two documents reflect the City of Delafield joining Lake Country Municipal Court. The Administrative Committee met on January 9, 2024 and voted to add the City of Delafield to the court.

As to the revised municipal ordinance that creates the court, I ask that you repeal your latest court ordinance and approve this ordinance. All communities must pass an identical ordinance per state law. Under section 1, there are blanks for referencing your previous ordinance and when it was adopted.

The Successor Agreement (66.0301 agreement) revisions only add the City of Delafield to the court. No other changes have been made. This agreement needs your municipal approval

If you have any questions, please feel free to call me at 414-881-9726.

Honorable Timothy T. Kay proudly serving the following municipalities:

*City of Oconomowoc, Town of Delafield, Town of Erin, Town of Ixonia, Town of Merton, Town of Oconomowoc,
Town of Ottawa, Town of Sullivan, Village of Chenequa, Village of Dousman, Village of Hartland,
Village of Johnson Creek, Village of Lac La Belle, Village of Lisbon, Village of Merton, Village of Nashotah,
Village of Oconomowoc Lake, Village of Sullivan, Village of Summit, Village of Sussex*

**SUCCESSOR AGREEMENT FOR THE OPERATION OF THE
LAKE COUNTRY MUNICIPAL COURT
a/k/a MUNICIPAL COURT
FOR WESTERN WAUKESHA COUNTY**
(Pursuant to Section 66.0301, Wis. Stats.)

AGREEMENT effective January 10, 2024, and on the date set opposite the signature of the Mayor, Village President, or Town Board Chairperson, by and between the City of Oconomowoc, Town of Oconomowoc, Village of Summit, Town of Merton, Town of Lisbon, Town of Delafield, Town of Erin, Village of Hartland, Village of Oconomowoc Lake, Village of Chenequa, Village of Lac La Belle, Village of Sussex, Village of Merton, Village of Dousman, Village of Nashotah, Village of Sullivan, Village of Johnson Creek, Town of Ottawa (Contract Member), Town of Ixonia (Contract Member), Town of Sullivan (Contract Member), and City of Delafield (Contract Member) all being municipal corporations organized and existing under the laws of the State of Wisconsin.

RECITALS:

WHEREAS, Section 755.01(1), Wis. Stats., provides that any municipality may establish a municipal court to be maintained at the expense of the municipality; and

WHEREAS, Section 755.01(4), Wis. Stats., provides that two or more cities, towns or villages may enter into an agreement under Section 66.0301, Wis. Stats., for the joint exercise of the power granted under Section 755.01(1), after enactment of identical ordinance by each affected City, Town or Village; and

WHEREAS, the municipalities that are parties to this agreement have enacted identical ordinances thereby creating and establishing a municipal court to serve said municipalities; and

WHEREAS, the municipalities have expressed willingness to enter into a contract for the joint operation of said municipal court and for the equitable sharing of the costs thereof, pursuant to Section 755.01 (4) and 66.0301, Wis. Stats.

NOW, THEREFORE, in consideration of the benefits to be derived by each municipality from the joint operation of the municipal court, the member municipalities agree as follows:

1. GENERAL. The municipal court shall be organized and shall operate pursuant to Chapter 755 Wis. Stats., the ordinances adopted by the member municipalities, and the terms of this agreement. In the event of conflict, the provisions of the Wisconsin statutes governing this court shall prevail. Pursuant to Section 755.01 (4), Wis. Stats., each member of the multimember Municipal Court shall adopt identical ordinances, and after adoption execute this Intermunicipal Agreement.

2. ORGANIZATION. Except for matters required by statute to be determined by the respective governing bodies of member municipalities, the general operation of the court shall be by the judge and the Court Administrative Committee. In addition, the Administrative Committee has currently authorized three sub-committees, namely: (1) Operations Committee; (2) Personnel Committee; and (3) Long Range Planning Committee. Each sub-committee shall have no less than three (3) members appointed by the chairperson of the Administrative Committee. Each sub-committee will in turn appoint a chair and keep brief minutes/notes of any meetings. Meetings will be publicly posted. The Operations Committee will meet not less than monthly, review and approve monthly financial statements and payment of bills, deal with general court operations, and formulate and recommend the annual court budget. The Personnel Committee will meet as needed and deal with personnel issues only. Both the Operations Committee and Personnel Committee may be involved, either individually or jointly, in the update of any employee handbook. The Long-Range Planning Committee will meet as needed to discuss and make recommendations as to the court's future facility needs.

3. COURT ADMINISTRATIVE COMMITTEE.

(a) Composition. The Court Administrative Committee shall be comprised of one representative of each member municipality who shall be appointed by the Mayor, President or Chairperson of the member municipality, subject to confirmation by the respective governing body. In order to assure participation and continuity of representation, each member municipality may appoint an alternate who shall act on committee matters in the absence of the representative. Contract municipalities shall not be a member of the Administrative Committee. The Administrative Committee shall appoint a chair and a vice chair for a term not to exceed 2 years. These appointments shall occur at the annual fall meeting or whenever a vacancy occurs. The appointments takes effect on January 1 of the following year.

(b) Powers and Duties. The Administrative Committee shall have general control over the operation of the court, except where such control is specifically granted to the Judge or the governing bodies by statute, in which case the Administrative Committee shall be a recommending agency. The Administrative Committee may delegate certain authority or powers to the Operations or other committees. The Administrative Committee shall recommend to the governing bodies the annual court budget and the bail bond schedule for the court. The Operations Committee shall cause appropriate bank accounts to be established for the deposit of all fees, forfeitures, assessments and costs paid into the court and shall adopt appropriate accounting procedures to ensure the proper handling of said funds. The Administrative Committee shall, with input from the judge, recommend that the court's participating municipalities approve the annual budget as prepared and recommended by the Operations Committee for the operation of the court.

(c) Voting and Procedure. The Court Administrative Committee shall be governed by Robert's Rules of Order and a majority vote of all the representatives of the Court Administrative Committee shall be required to adopt any motion or resolution. A simple majority of members or alternate members shall constitute a quorum.

Many of the municipalities that comprise this Municipal Court for police protection purposes contract with a County Sheriff's Department. If a municipality that contracts with a Sheriff's Department for police service appoints the Contract Deputy Sheriff as the municipality's member of the Administrative Committee, the Contract Deputy Sheriff shall be entitled to vote on any matter as the representative for each of the municipalities that the Contract Deputy Sheriff represents. Each municipality represented by a Contract Deputy Sheriff shall count toward meeting the quorum requirement.

4. MUNICIPAL JUDGE. This court shall be presided over by a Municipal Judge, who shall be an attorney licensed to practice law in Wisconsin, and who shall reside in one of the court's Member or Contract Municipalities. The Municipal Judge shall be elected at large in the spring election for a term commencing on May 1. All candidates for the position of Municipal Judge shall be nominated by nomination papers as provided in Section 8.10, Wis. Stats., and selection at a primary election if such is held as provided in Section 8.11, Wis. Stats. Each Member Municipality shall provide for a primary election whenever three (3) or more candidates file nomination papers for the position of Municipal Judge as provided in Section 8.11(1)(a), Wis. Stats., and such primary election shall be held on the third Tuesday of February as provided in Section 5.02(22), Wis. Stats.

5. ELECTIONS. The Municipal Clerk of each municipality shall see to the compliance with Statutes 5.58(1) (c), 5.60(1)(b), 5.60(2), 7.10(1)(a), 7.60(4)(a) and 8.10(6)(a) to provide for the election of a Municipal Judge under Section 755.01 (4).

6. OATH AND BOND. The judge shall, after his/her election or appointment to fill a vacancy, take and file the official oath as prescribed in Section 757.02(1), Wis. Stats. The Municipal Judge shall not act until his/her oath have been filed as required by Section 19.01(4)(c) and Section 755.03(2), Wis. Stats.

7. JURISDICTION. The Municipal Judge of the Municipal Court shall have such jurisdiction as provided by Section 755.045 and 755.05, Wis. Stats., and as otherwise provided by state law. The Municipal Judge is authorized to issue inspection warrants under Section 66.122 and 66.123, Wis. Stats.

8. JUDGE'S SALARY. The salary of the Judge shall be set by the annual budget of the Court, approved and recommended by the Administrative Committee, and approved by the City Common Council and Village and Town Boards as part of the budget process.

9. LOCATION AND HOURS. The Municipal Court shall be held in the Community Room of the City of Oconomowoc Public Safety Building or at such other locations as the Administrative Committee may direct. The Municipal Court shall be open at such times as determined by the Municipal Judge, but no less than every Friday commencing at 8:00 am.

10. CLERK. The Clerk is appointed by the Judge pursuant to Section 755.10, Wis. Stats. Salary and fringe benefits of the Clerk and any Deputy Clerks or other part-time employees are set forth in the Court's annual budget and must be approved and recommended by the Administrative Committee, and approved by the City Common Council, Village and Town Boards.

11. FORFEITURES FEES PENALTY ASSESSMENTS AND COSTS. All forfeitures, fees, penalty assessments and other costs paid to the Municipal Court shall be accounted for and disbursed by the Municipal Court with the approval of the Operations Subcommittee on a not less than monthly basis. The Municipal Judge may impose punishment and sentences as provided by Section 800.09, Wis. Stats., and as provided in the ordinances of the Member Municipalities.

12. STIPULATIONS AND DEPOSITS IN MUNICIPAL COURT. The Municipal Court herein established shall be operated pursuant to and in compliance with the provisions of Chapter 800, Wis. Stats, and, where applicable, other provisions of the Wisconsin Statutes. The Municipal Judge shall establish in accordance with Section 800.03(3), Wis. Stats, a schedule of deposits for violations of city, village and town ordinances, resolutions and by-laws, except traffic regulations which are and shall be governed by Chapter 345.27, Wis. Stats., and boating regulations which are and shall be governed by Chapter 23.67, Wis. Stats. Such deposit schedule shall be approved by the respective governing bodies of the municipalities creating and establishing this court and shall be posted in the office of the Municipal Court Clerk and the police departments of the respective communities.

13. PROCEDURE IN MUNICIPAL COURT. The procedure in Municipal court shall be as provided by this ordinance and state law, including, but not excluding because of enumeration, Chapters 66, 345, 751, 757 and 800, Wis. Stats.

14. CONTEMPT PROCEDURES.

(a) The Municipal Judge may impose a sanction authorized under Section 800.12(2) for contempt of court as defined in Section 785.01 (1), Wis. Stats., in accordance with the procedures under Section 785.03, Wis. Stats.

(b) The Municipal Judge may impose a forfeiture for contempt under Section 800.12(2) Wis. Stats. in an amount not to exceed \$200.00 (or as otherwise authorized by statute), or, upon nonpayment of the forfeiture and the penalty assessment under Section 165.87 Wis. Stats., a jail sentence not to exceed 7 days.

15. BUDGET PROCESS.

(a) Time and Approval. The Operations Committee, Judge, and Clerk shall formulate a budget annually to be approved by the Administrative Committee no later than November 15th of each year for the next succeeding year. The members of the committee shall present said budget to their respective governing bodies for approval. The budget shall be approved annually by the governing bodies no later than December 31. Approval by a majority of all the Member Municipalities shall constitute approval of the budget.

(b) Court Costs. The local share of the court costs required to be collected pursuant to Section 814.65(1), Wis. Stats., shall be retained by the court to be applied to the operating expenses of the court. Any excess of costs collected shall be held in reserve

or otherwise disbursed as approved by the Administrative Committee in compliance with all applicable statutes.

(c) Court Operating Expenses. The net operating expenses, if any, after application of the local share of the court costs, shall be charged to Member Municipalities based upon each municipality's percentage of total annual filed cases. Contributions shall be based upon the approved budget, with appropriate credits and debits being made on the next succeeding billing after annual audit. Payment shall be made within 30 days of billing. Citations entered by the court for any municipality when not received by the court in electronic format, will be assessed a per citation fee for entering such citations into the court software. Any community using the court will be assessed a fee set by the Administrative Committee if no citation has been submitted to the court in a calendar year. The current cost per citation entry is \$5.00 and \$500.00 per year if no citations submitted.

(d) Capital Expenditures. Capital expenditures shall be made a separate line item of the annual budget. All purchases other than operating expenses over \$500.00 shall be noted as Capital Expenditures.

16. CONTRACT ADMINISTRATION AND AMENDMENTS. The affirmative vote of a majority of all member governing bodies shall be required to adopt any resolution pertaining to the operation of the court, or amending this agreement.

17. CONTRACT MUNICIPALITIES. The court may add additional communities in the future upon request of a community and approval of the Administrative Committee. Any added community will come into the court as a Contract Municipality. If the Contract Municipality is satisfied with the operation of the court, and the Administrative Committee is satisfied with the nature and level of services being provided to the Contract Municipality, the Contract Municipality may apply for Member Municipality status with such application to be approved by vote of the Administrative Committee. Any Contract Municipality will have municipal court services provided pursuant to a contract entered into between the Contract Municipality and the Administrative Committee. Contract Municipalities do not have a vote on the Administrative Committee. Any costs incurred by the court in adding the contract community will be charged to that community.

18. TERMINATION. Any Member Municipality may withdraw from this Agreement by giving notice in writing to the Judge and Chair of the Administrative Committee no later than August 31st of any year. Upon giving such notice, the Member Municipality's participation in the Municipal Court shall terminate at the end of said year. The Municipal Court hereby established shall not be abolished while the Section 755.01 (4) Agreement is in effect.

19. COUNTERPARTS. This Agreement may be executed in one or more counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument.

IN WITNESS WHEREOF the parties have executed this Agreement under seal to be
Effective as of the date first written.

This ordinance shall take effect and be in force from and after its passage and publication as
provided by law.

Dated this 12th day of February . 2024

MUNICIPALITY

By: Jo Ann F. Villavicencio
Mayor/Chairman/President

Title Village President

ATTEST:

Clerk Signature Village of Chenequa
City of/Town of/Village of

ADOPTED:

POSTED: _____

ORDINANCE NO. 2024-02-12-01

AN ORDINANCE TO CREATE AND ESTABLISH A MUNICIPAL COURT FOR THE CITY OF OCONOMOWOC, VILLAGE OF OCONOMOWOC LAKE, VILLAGE OF DOUSMAN, TOWN OF DELAFIELD, VILLAGE OF NASHOTAH, TOWN OF LISBON, TOWN OF MERTON, VILLAGE OF SUSSEX, VILLAGE OF HARTLAND, VILLAGE OF LAC LABELLE, TOWN OF OCONOMOWOC, VILLAGE OF SUMMIT, VILLAGE OF CHENEQUA, TOWN OF ERIN, VILLAGE OF MERTON, VILLAGE OF SULLIVAN, VILLAGE OF JOHNSON CREEK, TOWN OF IXONIA (Contract Member), TOWN OF OTTAWA (Contract Member), AND TOWN OF SULLIVAN (Contract Member) AND CITY OF DELAFIELD (Contract Member) PURSUANT TO SECTIONS § 755.01 (4) AND § 66.0301 WISCONSIN STATUTES

The City/Town/City Council/Board of the Village of Chenequa, Waukesha County, Wisconsin does hereby ordain as follows:

SECTION I.

Ordinance No. ²⁰²⁴⁻⁰²⁻¹²⁻⁰¹ dated on or about 02/12/2024 entitled "An Ordinance To Create And Establish A Municipal Court For The City Of Oconomowoc, Village Of Oconomowoc Lake, Village Of Dousman, Town Of Delafield, Village Of Nashotah, Town Of Lisbon, Town Of Merton, Village Of Sussex, Village Of Hartland, Village Of Lac Labelle, Town Of Oconomowoc, Village Of Summit, Village Of Chenequa, Town Of Erin, Village Of Merton, Village Of Sullivan, Village Of Johnson Creek (Contract Member), Town Of Ixonia (Contract Member), Town Of Ottawa (Contract Member), and Town of Sullivan is hereby repealed and the Municipal Court ordinance is hereby re-created as follows:

MUNICIPAL COURT

(I) MUNICIPAL COURT CREATED

There is hereby created and established a Municipal Court under the provisions of Chapter 755 of the Wisconsin Statutes for the City of Oconomowoc, Village of Oconomowoc Lake, Village of Dousman, Town of Delafield, Village of Nashotah, Town of Lisbon, Town of Merton, Village of Sussex, Village of Hartland, Village of Lac LaBelle, Town of Oconomowoc, Village of Summit, Village of Chenequa, Town of Erin, Village of Merton, Village of Sullivan, Village of Johnson Creek, Town of Ixonia (Contract Member), Town of Ottawa (Contract Member), Town of Sullivan (Contract Member), and City of Delafield (Contract Member) or so many of

those municipalities which enact an ordinance identical to this ordinance pursuant to § 755.01 (4).

(2) MUNICIPAL JUDGE

Such court shall be under the jurisdiction of and presided over by a Municipal Judge, who shall be an attorney licensed to practice law in Wisconsin, and who shall reside in one of the following Municipalities: City of Oconomowoc, Village of Oconomowoc Lake, Village of Dousman, Town of Delafield, Village of Nashotah, City of Delafield, Town of Lisbon, Town of Merton, Village of Sussex, Village of Hartland, Village of Lac LaBelle, Town of Oconomowoc, Village of Summit, Village of Chenequa, Town of Erin, Village of Merton, Village of Sullivan, Village of Johnson Creek, Town of Ixonia, Town of Ottawa, or Town of Sullivan, or those municipalities which enact an ordinance identical to this ordinance and enter into an agreement pursuant to § 566.0301 Wis. Stats. for the joint exercise of the power granted under § 755.01 Wis. Stats. Such Municipal Judge shall be elected at large in the spring election for a term of four (4) years commencing May 1. All candidates for the position of Municipal Judge shall be nominated by nomination papers as provided in § 8.10 Wis. Stats., and selection at a primary election if such is held as provided in § 8.11 Wis. Stats. The Town Board of the Town of Delafield shall provide for a primary election whenever three (3) or more candidates file nomination papers for such position of Municipal Judge as provided in § 8.11(1)(a) Wis. Stats., and such primary election shall be held on the third Tuesday of February as provided in § 5.02(22) Wis. Stats.

(3) ELECTIONS

The Municipal Clerk of each municipality shall see to the compliance with § 5.58(1)©, § 5.60(1)(b), § 5.60(2), § 7.10(1)(a), § 7.60(4)(a) and § 8.10(6)(bm) to provide for the election of a Municipal Judge under § 755.01 (4).

(4) OATH AND BOND

The Judge shall, after his election or appointment to fill a vacancy, take and file the official oath as prescribed in § 757.02(1) Wis. Stats. The Municipal Judge shall not act until his/her oath have been filed as required by Section § 19.01(4)© and Section § 755.03(2), Wis. Stats.

(5) SALARY

The salary of the Municipal Judge shall be fixed by the governing bodies of the municipalities that created and established this Municipal Court, which shall be in lieu of fees and costs. No salary shall be paid for any time during his/her term during which

such Judge has not executed his official oath, as required by § 755.03, Wis. Stats., and filed pursuant to § 19.01 Wis. Stats. The municipalities may by separate ordinances, resolutions, or through the budget process, allocate funds for the administration of the Municipal Court pursuant to Wis. Stats. § 66.0301.

(6) JURISDICTION

The municipal Judge of the Municipal Court shall have such jurisdiction as provided by § 755.045 and § 755.05 Wis. Stats., and as otherwise provided by State Law. The Municipal Judge is authorized to issue inspection warrants under § 66.01 19 Wis. Stats.

(7) LOCATION AND HOURS

The Municipal Court shall be held in the Municipal Building of the City of Oconomowoc Police Department at 630 E. Wisconsin Avenue, Oconomowoc, Wisconsin. The Municipal Court shall be open at such times as determined by the Municipal Judge, but no less than every Friday commencing at 8:00 am.

(8) FINES AND FORFEITURES

The Municipal Judge may impose punishment and sentences as provided by ss 800.09, Wis. Stats., and as provided in the ordinances of the following municipalities: City of Oconomowoc, Village of Oconomowoc Lake, Village of Dousman, Town of Delafield, Village of Nashotah, Town of Lisbon, Town of Merton, Village of Sussex, Village of Hartland, Village of Lac LaBelle, Town of Oconomowoc, Village of Summit, Village of Chenequa, Town of Erin, Village of Merton, Village of Sullivan, Village of Johnson Creek, Town of Ixonia, Town of Ottawa or Town of Sullivan. All forfeitures, fees, penalty assessments and costs shall be paid to the Treasurer of the Municipality within which the case arose within 7 days after receipt of the money by the Municipal Judge or other court personnel. At the time of the payment, the Municipal Judge shall report to the Treasurer the title of the action, the offense for which a forfeiture was imposed and the total amount of the forfeiture, fees, penalty assessment and costs, if any.

(9) STIPULATIONS AND DEPOSITS IN MUNICIPAL COURT

The Municipal Court herein established shall be operated pursuant to and in compliance with the provisions of Chapter 800 Wis. Stats., and, where applicable, other provisions of the Wis. Stats. as referred to in subsection (10) below. The Municipal Judge shall establish in accordance with § 800.037 Wis. Stats., a schedule of deposits for violations of City, Village and Town ordinances, resolutions and bylaws, except traffic regulations which are and shall be governed by § 345.26 Wis. Stats., and boating violations which are, and shall be governed by § 23.66 and § 23.67

Wis. Stats. Such deposit schedule shall be approved by the respective governing bodies of the municipalities creating and establishing this Court and shall be posted in the office of the Municipal Court Clerk and the police departments of the respective communities.

(10) PROCEDURE IN MUNICIPAL COURT

The procedure in Municipal Court shall be as provided by this Ordinance and State Law including, but not excluding because of enumeration Chapters 66, 345, 751, 755, 757 and 800 of Wis. Stats.

(11) CONTEMPT PROCEDURES

- (a) The Municipal Judge may impose a sanction authorized under § 800.12(2) for contempt of court, as defined in § 785.01(1) Wis. Stats., in accordance with the procedures under § 785.03 Wis. Stats.
 - (b) The Municipal Judge may impose a forfeiture for contempt under § 800.12(1) Wis. Stats., in an amount not to exceed \$50.00 or, upon nonpayment of the forfeiture and the penalty assessment under § 757.05 Wis. Stats., a jail sentence not to exceed 7 days.
- (12) The Municipal Court hereby established shall not be abolished while the §755.01(4) agreement is in effect.

SECTION 2. SEVERABILITY

The several sections of this ordinance are declared to be severable. If any section or portion thereof shall be declared by a court of competent jurisdiction to be invalid, unlawful or unenforceable, such decision shall apply only to the specific section or portion thereof directly specified in the decision, and shall not affect the validity of any other provisions, sections or portions thereof of the ordinance. The remainder of the ordinance shall remain in full force and effect. Any other ordinances whose terms are in conflict with the provisions of this ordinance are hereby repealed as to those terms that conflict.

IN WITNESS WHEREOF the parties have executed this Agreement under seal to be
Effective as of the date first written.

This ordinance shall take effect and be in force from and after its passage and publication as
provided by law.

Dated this 12th day of February . 2024

MUNICIPALITY

By: Jo Ann F. Villavicencio
Mayor/Chairman/President

Title Village President

ATTEST:

Clerk Signature Village of Chenequa
City of/Town of/Village of

ADOPTED:

POSTED: _____



LAKE COUNTRY CITIZENS ACADEMY

The Village of Chenequa, City of Delafield, Village of Hartland, and Village of Pewaukee Police Departments, along with the Lake Country Fire & Rescue, are sponsoring a Citizens Academy. We invite you to apply and join us in learning about the local police departments and fire department.

This course does not require physical activity

Must be at least 16 years old with a valid driver's license to apply

APPLICATIONS DUE BY **MARCH 3rd, 2024**



TOPICS COVERED

EMERGENCY VEHICLE
OPERATION

CRIME SCENE
INVESTIGATION

COMPUTER CRIMES

FIRE RESPONSE

CRITICAL INCIDENT
RESPONSE

DISPATCH TOUR

CPR TRAINING

SCENARIO BASED
LEARNING

TO APPLY

brehmer@chenequa.org
whoffman@ci.delafield.wi.us
lmayek@villageofpewaukee.wi.gov
robertj@villageofhartland.wi.gov
briand@villageofhartland.wi.gov

9-WEEK COURSE

EVERY WEDNESDAY FROM

MARCH 13th - MAY 8th

6:00 PM TO 8:30 PM